



COMHAIRLE | CLARE  
CONTAE AN CHLÁIR | COUNTY COUNCIL

**Registered Post**

**NBI Designated Infrastructure Company  
C/o Niamh McFadden, Entrust Limited  
Unit 1, First Floor  
Oranmore Business Park  
Co. Galway, H91 P7X8**

**14th May 2025**

**Section 5 referral Reference R25-32 – NBI Designated Infrastructure Company**

Is the construction of a 12m telecommunications structure at Doolin Pier development and if so, is it exempted development?

A Chara,

I refer to your application received on 22nd April 2025 under Section 5 of the Planning & Development Act 2000 (as amended) in relation to the above.

The Planning Authority has considered the matter and I attach herewith the Council's findings in this matter.

Where a declaration is issued by the Planning Authority, any person issued with a declaration, may on payment to an Bord Pleanála of the required fee, refer a declaration for review by An Bord Pleanála within 4 weeks of the date of the issuing of the declaration. Details on making such appeal are available on the Board's website at [www.pleanala.ie](http://www.pleanala.ie).

Mise, le meas

**Anne O'Gorman  
Staff Officer  
Planning Department  
Economic Development Directorate**

**An Roinn Pleanála  
An Stiúarthóireacht Forbairt Gheilleagrach**

Áras Contae an Chláir, Bóthar Nua, Inis, Co. an Chláir, V95 DXP2

**Planning Department  
Economic Development Directorate**

Áras Contae an Chláir, New Road, Ennis, Co. Clare, V95 DXP2



**CLARE COUNTY COUNCIL**

**SECTION 5 OF THE PLANNING AND DEVELOPMENT ACT 2000 AS AMENDED**

**DECLARATION ON DEVELOPMENT AND/OR EXEMPTED DEVELOPMENT**

Chief Executive's Order No:

85473

Reference Number:

R25-32

Date Referral Received:

22nd April 2025

Name of Applicant:

NBI Designated Infrastructure Company

Location of works in question:

Doolin Pier, Co. Clare

**Section 5 referral Reference R25-32 – NBI Designated Infrastructure Company**

Is the construction of a 12m telecommunications structure at Doolin Pier development and if so, is it exempted development?

**AND WHEREAS** Clare County Council, in considering this referral, had regard in particular to –

- (a) Sections 2, 3 and 4 of the Planning and Development Act 2000, as amended,
- (b) Section 2 (1) Interpretations- Definition of statutory undertaker,
- (c) Planning and Development Regulations 2001-2024, in particular Schedule 2 Article 6 part 1- Article 6
  - Class 31 (a) Underground utilities,
  - Class 31 (b) New pole,
  - Class 31 (f) The cabinet,
  - class 11 Fencing.
- (d) Article 9 Restriction on Exemptions.
- (e) The details indicated in submitted documents from the referrer.

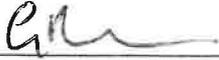
**AND WHEREAS** Clare County Council has concluded:

- (a) The development consisting of a 12m telecommunication structure constitutes "works" and "development" which come within the scope of sections 2 and 3 of the Planning and Development Act 2000, as amended.
- (b) The said development falls within the scope Class 31 - Class 31 (a) Underground utilities, Class 31 (b) New pole, Class 31 (f) The cabinet, Class 11 Fencing, of the Planning and Development Regulations.
- (c) Article 9 Restriction on Exemptions.

**ORDER:** Whereas by Chief Executive's Order No. HR 46 dated 1<sup>st</sup> January 2025, Carmel Kirby, Interim Chief Executive for Clare County Council, did, pursuant to the powers conferred on her by Section 154 of the Local Government Act 2001, delegate to Garreth Ruane, Senior Executive Planner, the powers, functions and duties as set out herein,

**NOW THEREFORE** pursuant to the delegation of the said powers, functions and duties and under Section 5(2)(a) of the Planning & Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the referral described above, I, Garreth Ruane, Senior Executive Planner, hereby declare that the construction of a 12m telecommunications structure at Doolin Pier, Doolin, Co. Clare is considered development which is exempted development.

Signed:

  
\_\_\_\_\_  
GARRETH RUANE  
SENIOR EXECUTIVE PLANNER 

Date:

14th May 2025

**DECLARATION ISSUED UNDER SECTION 5 OF THE  
PLANNING & DEVELOPMENT ACT 2000 (AS AMENDED)**

Reference No.: R25-32



**Comhairle Contae an Chláir  
Clare County Council**

**Section 5 referral Reference R25-32**

**Is the construction of a 12m telecommunications structure at Doolin Pier development and if so, is it exempted development?**

**AND WHEREAS, NBI Designated Infrastructure Company** has requested a declaration from Clare County Council on the said question.

**AND WHEREAS Clare County Council, in considering this referral, had regard in particular to –**

- (a) Sections 2, 3 and 4 of the Planning and Development Act 2000, as amended,
- (b) Section 2 (1) Interpretations- Definition of statutory undertaker,
- (c) Planning and Development Regulations 2001-2024, in particular Schedule 2 Article 6 part 1- Article 6
  - Class 31 (a) Underground utilities,
  - Class 31 (b) New pole,
  - Class 31 (f) The cabinet,
  - class 11 Fencing.
- (d) Article 9 Restriction on Exemptions.
- (e) The details indicated in submitted documents from the referrer

**And whereas Clare County Council has concluded:**

- (a) The development consisting of a 12m telecommunication structure constitutes “works” and “development” which come within the scope of sections 2 and 3 of the Planning and Development Act 2000, as amended.
- (b) The said development falls within the scope Class 31 - Class 31 (a) Underground utilities, Class 31 (b) New pole, Class 31 (f) The cabinet, Class 11 Fencing, of the Planning and Development Regulations.
- (c) Article 9 Restriction on Exemptions.

**THEREFORE:** The Planning Authority in exercise of the powers conferred on it by Section 5 of the Planning and Development Act, 2000 (as amended), hereby decides that:

The proposed development consisting of the construction of a 12m telecommunications structure at Doolin Pier, Co. Clare **constitutes development** which is **exempted development** as defined within the Planning & Development Acts, 2000 (as amended) and associated regulations.

*Anne O'Gorman* \_\_\_\_\_

**Anne O'Gorman**  
**Staff Officer**  
**Planning Department**  
**Economic Development Directorate**

**14th May 2025**

## **SECTION 5 DECLARATION OF EXEMPTION APPLICATION PLANNERS REPORT**

<b>FILE REF:</b>	R25/ 32
<b>APPLICANT(S):</b>	NBI Designated Infrastructure Company.
<b>REFERENCE:</b>	Whether the construction of a 12m telecommunication structures constitutes development and if so does it constitutes exempted development.
<b>LOCATION:</b>	Doolin Pier, County Clare
<b>DUE DATE:</b>	19 <sup>th</sup> May 25

### **Site Location**

The subject site is located at Doolin Pier. It is adjacent to the car park to the southwest of the Irish coastguard station. The proposed radio link dish will be a receiving radio link for its corresponding radio link at Inisheer island. Other developments nearby include ticket offices, utility poles, car park etc. The R459 adjacent is a designated scenic route.

The site is located on private land. The landowner's name is on the application form. The site is zoned agriculture.

### **Recent Planning History on site.**

None

### **Background to Referral**

The applicant is seeking a Section 5 Declaration as to whether the construction of a 12m telecommunication structures constitutes development and if so does it constitute exempted development.

The applicant has submitted the following:

- Cover letter and photographs of the site.
- AA screening report
- A photomontage report
- Drawings to scale and site layout plan

### **Statutory Provisions**

#### **Planning and Development Act, 1964 (as amended)**

In order to assess this proposal, regard has to be had to the *Planning and Development Act 2000, as amended*.

#### *Section 2(1) – Interpretation*

*In this Act, except where the context otherwise requires –*

*Works include any act or operation of construction excavation, demolition, extension alteration, repair or renewal.*

Section 2 'Works' are defined in Section 2 of the *Planning and Development Act 2000, as amended* as follows:

S.3.(1) *In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.*

Planning and Development Act, 2000 (as amended) Section 2(1)

"statutory undertaker" means a person, for the time being, authorised by or under any enactment or instrument under an enactment to—

(a) construct or operate a railway, canal, inland navigation, dock, harbour or airport,

(b) provide, or carry out works for the provision of, gas, electricity or telecommunications services, or

(c) provide services connected with, or carry out works for the purposes of the carrying on of the activities of any public undertaking;

*Exempted Development*

Planning and Development Regulations

Planning & Development Regulations, 2001, as amended

Article 6 refers to Exempted Development and states that subject to Article 9, development of a class specified in column 1 of Part 3 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 3 opposite the mention of that class in the said column 1.

Under ground utilities

Class 31 (a)

CLASS 31 The carrying out by a statutory undertaker authorised to provide a telecommunications service of development consisting of the provision of—

(a) underground telecommunications structures or other underground telecommunications works (including the laying of mains and cables and the installation underground of any apparatus or equipment),. There are no limitations attached to this class.

The new Pole.

Class 31 (b)

The carrying out by a statutory undertaker authorised to provide a telecommunications service of development consisting of the provision of—

(b) overhead telecommunications including the erection of poles or other support structures or the use of existing poles or other support structures.

Conditions and limitations

1. Poles or other support structures carrying overhead lines shall not exceed 12 metres in height.
2. Poles or other support structures carrying other equipment shall not exceed 12 metres in height and 0.6 metres in diameter measured at the widest point, where "other equipment" means 2 transmitting or receiving dishes the diameter of which shall not exceed 0.6 metres), or 1 panel antenna (the dimensions of which shall not exceed 0.85 metres in length x 0.65 metres in width x 0.2 metres in depth) used for the provision of a specific telecommunications service and the provision of which would otherwise require an additional pole route carrying overhead wires.
3. Where a pole or poles or other support structures carry radio transmitting or receiving apparatus, the field strength of the non-ionising radiation emissions from that installation shall not exceed the limits specified by the Commission for Communications Regulation.

Cabinets

Class 31 (f)

Cabinets forming part of a telecommunications system,

Condition and limitations

1. The volume above the ground-level of any such cabinet shall not exceed 2 cubic metres measured externally

Fencing

CLASS 11 The construction, erection, lowering, repair or replacement, other than within or bounding the curtilage of a house, of— (a) any fence (not being a hoarding or sheet metal fence), or (b) any wall of brick, stone, blocks with decorative finish, other concrete blocks or mass concrete.

## Condition and limitations

The height of any new structure shall not exceed 1.2 metres or the height of the structure being replaced, whichever is the greater, and in any event shall not exceed 2 metres.

2. Every wall, other than a dry or natural stone wall, constructed or erected bounding a road shall be capped and the face of any wall of concrete or concrete blocks (other than blocks of a decorative finish) which will be visible from any road, path or public area, including a public open space, shall be rendered or plastered.

### *Schedule 2, Article 6, Part 1 – Exempted Development General.*

Under Article 9 (1) of the same Regulations, *development to which Article 6 relates shall not be exempted development for the purposes of the Act:*

*(a) if the carrying out of such development would –*

- (i) contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act*
- (ii) consist of or compromise the formation, laying out or material widening of a means of access to a public road the surfaced carriageway of which exceeds 4 metres in width,*
- (iii) endanger public safety by reason of traffic hazard or obstruction of road users,*
- (iiia) endanger public safety by reason of hazardous glint and/or glare for the operation of airports, aerodromes or aircraft,*
- (iv) except in the case of a porch to which class 7 specified in column 1 of Part 1 of Schedule 2 applies and which complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1, comprise the construction, erection, extension or renewal of a building on any street so as to bring forward the building, or any part of the building, beyond the front wall of the building on either side thereof or beyond a line determined as the building line in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,*
- (v) consist of or comprise the carrying out under a public road of works other than a connection to a wired broadcast relay service, sewer, water main, gas main or electricity supply line or cable, or any works to which class 25, 26 or 31 (a) specified in column 1 of Part 1 of Schedule 2 applies,*
- (vii) interfere with the character of a landscape, or a view or prospect of special amenity value or special interest, the preservation of which is an objective of a development plan for the area in which the development is proposed or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan.*
- (vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the*

*development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan, (viiA) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12(1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended,*

*(viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,*

*(viiC) consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000.”*

*(viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,*

*(ix) consist of the demolition or such alteration of a building or other structure as would preclude or restrict the continuance of an existing use of a building or other structure where it is an objective of the planning authority to ensure that the building or other structure would remain available for such use and such objective has been specified in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,*

*(x) consist of the fencing or enclosure of any land habitually open to or used by the public during the 10 years preceding such fencing or enclosure for recreational purposes or as a means of access to any seashore, mountain, lakeshore, riverbank or other place of natural beauty or recreational utility,*

*(xi) obstruct any public right of way,*

*(xii) further to the provisions of section 82 of the Act, consist of or comprise the carrying out of works to the exterior of a structure, where the structure concerned is located within an architectural conservation area or an area specified as an architectural conservation area in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan and the development would materially affect the character of the area.*

## **Assessment**

The agent has advised the following in the documents submitted:

### **Particulars of the Development**

The development comprises:

- 12m high modular steel monopole on a concrete plinth ( not exceeding 0.6 meters in diameter with maximum width)

- 2 number radio link dishes measuring 0.6 meters in diameter attached to the proposed pole.
- Single Bay cabinet less than two cubic meters in volume when measured externally
- 1.2 metre high palisade fence with 1m access gate.
- 600 by 600mm fibre chamber.
- Underground cable connection and all ancillary development there too.

Class 31 (a)

CLASS 31 The carrying out by a statutory undertaker authorised to provide a telecommunications service of development consisting of the provision of—

(a) underground telecommunications structures or other underground telecommunications works (including the laying of mains and cables and the installation underground of any apparatus or equipment),. There are no limitations attached to this class.

**The associated under ground works comply with this regulation.**

Class 31(b)

The carrying out by a statutory undertaker authorised to provide a telecommunications service of development consisting of the provision of—

*(b) overhead telecommunications including the erection of poles or other support structures or the use of existing poles or other support structures.*

**The structure is a 12 m pole.**

*Conditions and limitations*

*1.Poles or other support structures carrying overhead lines shall not exceed 12 metres in height.*

**The height of the pole does not exceed 12m**

*2.Poles or other support structures carrying other equipment shall not exceed 12 metres in height and 0.6 metres in diameter measured at the widest point, where "other equipment" means 2 transmitting or receiving dishes the diameter of which shall not exceed 0.6 metres), or 1 panel antenna (the dimensions of which shall not exceed 0.85 metres in length x 0.65 metres in width x 0.2 metres in depth) used for the provision of a specific telecommunications service and the provision of which would otherwise require an additional pole route carrying overhead wires.*

***The attachments to the pole comply with this limitation. It is proposed to attach 2 no 600mm diameter dishes.***

*3. Where a pole or poles or other support structures carry radio transmitting or receiving apparatus, the field strength of the non-ionising radiation emissions from that installation shall not exceed the limits specified by the Commission for Communications Regulation.*

***This is the case.***

Class 31 (f)

Cabinets forming part of a telecommunications system,

Condition and limitations

- (c) The volume above the ground-level of any such cabinet shall not exceed 2 cubic metres measured externally

**The single bay cabinet complies with this limitation .**

CLASS 11

The construction, erection, lowering, repair or replacement, other than within or bounding the curtilage of a house, of – (a) any fence (not being a hoarding or sheet metal fence), or (b) any wall of brick, stone, blocks with decorative finish, other concrete blocks or mass concrete.

Condition and limitations

The height of any new structure shall not exceed 1.2 metres or the height of the structure being replaced, whichever is the greater, and in any event shall not exceed 2 metres.

- (d) Every wall, other than a dry or natural stone wall, constructed or erected bounding a road shall be capped and the face of any wall of concrete or concrete blocks (other than blocks of a decorative finish) which will be visible from any road, path or public area, including a public open space, shall be rendered or plastered.

**The palisade fencing measures 1.2m high which is compliant with the regulation.**

*Schedule 2, Article 6, Part 1 – Exempted Development General.*

*Under Article 9 (1) of the same Regulations, development to which Article 6 relates shall not be exempted development for the purposes of the Act:*

- (e) if the carrying out of such development would –*

- (i) contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act. **N.A – no previous permission on site**
- (ii) consist of or compromise the formation, laying out or material widening of a means of access to a public road the surfaced carriageway of which exceeds 4 metres in width, **N/A**
- (iii) endanger public safety by reason of traffic hazard or obstruction of road users, **N/A**
- (iiia) endanger public safety by reason of hazardous glint and/or glare for the operation of airports, aerodromes or aircraft, **N/A**
- (iv) except in the case of a porch to which class 7 specified in column 1 of Part 1 of Schedule 2 applies and which complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1, comprise the construction, erection, extension or renewal of a building on any street so as to bring forward the building, or any part of the building, beyond the front wall of the building on either side thereof or beyond a line determined as the building line in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan, **N/A**
- (v) consist of or comprise the carrying out under a public road of works other than a connection to a wired broadcast relay service, sewer, water main, gas main or electricity supply line or cable, or any works to which class 25, 26 or 31 (a) specified in column 1 of Part 1 of Schedule 2 applies, **N/A**
- (vii) interfere with the character of a landscape, or a view or prospect of special amenity value or special interest, the preservation of which is an objective of a development plan for the area in which the development is proposed or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan. **Having regard to the photomontage received the proposed development does not interfere with the character of the landscape.**
- (vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,
- (viiA) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12(1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended, **N.A**
- (viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site, **N.A see screening report attached.**
- (viiC) consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000. **N/A**
- (viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use, **N/A**

*(ix) consist of the demolition or such alteration of a building or other structure as would preclude or restrict the continuance of an existing use of a building or other structure where it is an objective of the planning authority to ensure that the building or other structure would remain available for such use and such objective has been specified in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,N/A*

*(x) consist of the fencing or enclosure of any land habitually open to or used by the public during the 10 years preceding such fencing or enclosure for recreational purposes or as a means of access to any seashore, mountain, lakeshore, riverbank or other place of natural beauty or recreational utility,N/A*

*(xi) obstruct any public right of way,N/A*

*(xii) further to the provisions of section 82 of the Act, consist of or comprise the carrying out of works to the exterior of a structure, where the structure concerned is located within an architectural conservation area or an area specified as an architectural conservation area in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan and the development would materially affect the character of the area. N/A*

### **Conclusion**

The proposed development is considered to be development which is exempted development .

### **Recommendation**

The following questions have been referred to the Planning Authority:

Whether the construction of a 12m telecommunication structures constitutes development and if so does it constitutes exempted development

**The Planning Authority in considering this referral had regard to:**

- (a) Sections 2 and 3 and 4 of the Planning and Development Act 2000, as amended,
- (b) Section 2 (1) Interpretations- Definition of statutory undertaker
- (c) Planning and Development Regulations 2001-2024, in particular Schedule 2 Article 6 part 1- Article 6
  - Class 31 (a) Underground utilities,
  - Class 31 (b) New pole,
  - Class 31 (f) The cabinet
  - class 11 Fencing.
- (c) Article 9 Restriction on Exemptions.
- (d) The details indicated in submitted documents from the referrer

**And whereas Clare County Council (Planning Authority) has concluded:**

- a) the development consisting of a 12m telecommunication structure constitutes "works" and "development" which come within the scope of sections 2 and 3 of the Planning and Development Act 2000, as amended.
- b) The said development falls within the scope Class 31 Class 31 (a) Underground utilities, Class 31 (b) New pole, Class 31 (f)The cabinet, Class 11 Fencing, of the Planning and Development Regulations.
- c) Article 9 Restriction on Exemptions

*localy decides that a*  
**Now therefore Clare County Council (Planning Authority),** <sup>12m telecommunication structure at Dacin Pier</sup>  
 constitutes development which is exempted development.

Ellen Carey  
**Ellen Carey**  
**Executive Planner**  
 Date: 12/05/25

Garreth Ruane  
**Garreth Ruane**  
**Senior Executive Planner**  
 Date: 14/05/25

## Appropriate Assessment & Determination

STEP 1. Description of the project/proposal and local site characteristics:	
(a) File Reference No:	R 25/ 32
(b) Brief description of the project or plan:	12 m communication NBI tower
(c) Brief description of site characteristics:	Concrete surfaces
(d) Relevant prescribed bodies consulted: e.g. DHLGH (NPWS), EPA, OPW	NPWS
(e) Response to consultation:	None

STEP 2. Identification of relevant Natura 2000 sites using Source-Pathway-Receptor model and compilation of information on Qualifying Interests and conservation objectives.				
European Site (code)	List of Qualifying Interest/Special Conservation Interest <sup>1</sup>	Distance from proposed development <sup>2</sup> (km)	Connections (Source-Pathway-Receptor)	Considered further in screening Y/N
Blackhead to Poulsallagh Complex SAC	Annex I habitats: <ul style="list-style-type: none"> <li>• Reefs [1170]</li> <li>• Perennial vegetation of stony banks [1220]</li> <li>• Water courses of plain to montane levels with the <i>Ranunculus fluitantis</i> and <i>Callitriche=Batrachion</i> vegetation [3260]</li> <li>• Alpine and boreal heaths [4060]</li> <li>• <i>Juniperus communis</i> formations on heaths or calcareous grasslands [5130]</li> <li>• Semi-natural dry grasslands and scrubland facies on calcareous grasslands [6210]</li> <li>• Lowland hay meadows (<i>Alopecurus</i>)</li> </ul>	200m	None	Yes

	<i>pratensis, Sanguisorba officinalis</i> [6510] · Petrifying springs with tufa formation (Cratoneurion) [7220] · *Limestone pavements [8240] · Submerged or partially submerged sea caves [8330] Annex II Species · Petalwort <i>Petrophyllum ralfsii</i>			
Cliffs of Moher	Fulmar ( <i>Fulmarus glacialis</i> ) [A009] Kittiwake ( <i>Rissa tridactyla</i> ) [A188] Guillemot ( <i>Uria aalge</i> ) [A199] Razorbill ( <i>Alca torda</i> ) [A200] Puffin ( <i>Fratercula arctica</i> ) [A204] Chough ( <i>Pyrrhocorax pyrrhocorax</i> ) [A346]	1.4km	None	Yes

- <sup>1</sup> Short paraphrasing and/or cross reference to NPWS is acceptable – it is not necessary to reproduce the full text on the QI/SCI.
- <sup>2</sup> If the site or part thereof is within the European site or adjacent to the European site, state here.

### STEP 3. Assessment of Likely Significant Effects

(a) Identify all potential direct and indirect impacts that may have an effect on the conservation objectives of a European site, taking into account the size and scale of the project under the following headings:

Impacts:

Possible Significance of Impacts:  
(duration/magnitude etc.)

<p>Construction phase e.g.</p> <ul style="list-style-type: none"> <li>● Vegetation clearance</li> <li>● Demolition</li> <li>● Surface water runoff from soil excavation/infill/landscaping (including borrow pits)</li> <li>● Dust, noise, vibration</li> <li>● Lighting disturbance</li> <li>● Impact on groundwater/dewatering</li> <li>● Storage of excavated/construction materials</li> <li>● Access to site</li> <li>● Pests</li> </ul>	<p><b>Surface water runoff from soil excavation/</b></p>
<p>Operational phase e.g.</p> <ul style="list-style-type: none"> <li>● Direct emission to air and water</li> <li>● Surface water runoff containing contaminant or sediment</li> <li>● Lighting disturbance</li> <li>● Noise/vibration</li> <li>● Changes to water/groundwater due to drainage or abstraction</li> <li>● Presence of people, vehicles and activities</li> <li>● Physical presence of structures (e.g. collision risks)</li> <li>● Potential for accidents or incidents</li> </ul>	<p><b>None</b></p>
<p>In-combination/Other</p>	<p><b>None</b></p>

**(b) Describe any likely changes to the European site:**

<p>Examples of the type of changes to give consideration to include:</p> <ul style="list-style-type: none"> <li>● Reduction or fragmentation of habitat area</li> <li>● Disturbance to QI species</li> <li>● Habitat or species fragmentation</li> </ul>	<p><b>None</b></p>
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- Reduction or fragmentation in species density
- Changes in key indicators of conservation status value (water or air quality etc.)
- Changes to areas of sensitivity or threats to QI
- Interference with the key relationships that define the structure or ecological function of the site

(c) Are *'mitigation'* measures necessary to reach a conclusion that likely significant effects can be ruled out at screening?

Yes  No

#### Step 4. Screening Determination Statement

##### The assessment of significance of effects:

Describe how the proposed development (alone or in-combination) is/is **not likely** to have **significant** effects on European site(s) in view of its conservation objectives.

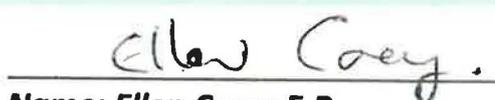
I refer to the AA report accompanying the application . I note that absence of hydrological pathways linking the subject site to the European sites. I also note the description of the nature of works and standard best practice measures for the control of soil , surface water and ground water during the course of construction.

It is not considered that a 12m high pole with attachments will interfere the protected bird species associated with the Cliffs of Moher SPA given that there are similar structures nearby ( Utility poles for public lighting ) and the coast guard building.

**Conclusion: The proposed development is not likely to have significant effects on European site(s) in view of its conservation objectives.**

Tick as  
Appropriate:

Recommendation:

(i) It is clear that there is <b>no likelihood</b> of significant effects on a European site.	<input checked="" type="checkbox"/>	<b>The proposal can be screened out: Appropriate assessment not required.</b>
(ii) It is <b>uncertain</b> whether the proposal will have a significant effect on a European site.	<input type="checkbox"/>	<input type="checkbox"/> Request further information to complete screening <input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission
(iii) <b>Significant effects</b> are likely.	<input type="checkbox"/>	<input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission
<b>Signature and Date of Recommending Officer:</b>	<div style="text-align: center;">   <hr style="width: 30%; margin: 0 auto;"/> <b>Name: Ellen Carey E.P.</b> </div> <div style="text-align: center;">12/05/25</div>	
<b>Signature and Date of the Decision Maker:</b>		



COMHAIRLE | CLARE  
CONTAE AN CHLÁIR | COUNTY COUNCIL

**NBI Designated Infrastructure Company**  
**C/o Niamh McFadden, Entrust Limited**  
**Unit 1, First Floor**  
**Oranmore Business Park**  
**Co. Galway, H91 P7X8**

**22/04/2025**

**Section 5 referral Reference R25-32 – NBI Designated Infrastructure Company**

Is the construction of a 12m telecommunications structure at Doolin Pier development and if so, is it exempted development?

A Chara,

I refer to your application received on 22nd April 2025 under Section 5 of the Planning & Development Act 2000 (as amended) in relation to the above.

Please note that the Planning Authority is considering the matter and a reply will issue to you in due course.

Mise, le meas

**Brian Fahy**  
**Planning Department**  
**Economic Development Directorate**

**An Roinn Pleanála**  
**An Stiúarthóireacht Forbairt Gheilleagrach**  
Áras Contae an Chláir, Bóthar Nua, Inis, Co. an Chláir, V95 DXP2

**Planning Department**  
**Economic Development Directorate**  
Áras Contae an Chláir, New Road, Ennis, Co. Clare, V95 DXP2



Clare County Council  
Aras Contae an Chlair  
New Road  
Ennis  
Co Clare



22/04/2025 09:53:22

Receipt No: L1CASH/0/377986  
\*\*\*\*\* REPRINT \*\*\*\*\*

NATIONAL BROADBAND IRELAND (NBI)  
C/O NIAMH MCFADDEN, ENTRUST LIMITED  
ORANMORE BUSINESS PARK, GALWAY  
H91 P7X8  
R25/32

## COMHAIRLE

SECTION 5 REFERENCES	80.00
GOODS	80.00
VAT Exempt/Non-vatable	

Total: 80.00 EUR

Tendered :  
CHEQUES 80.00

Change : 0.00

Issued By : L1CASH - Noelette Barry  
From : MAIN CASH OFFICE LODGEMENT AF  
Vat reg No.0033043E



P07

**CLARE COUNTY COUNCIL  
COMHAIRLE CONTAE AN CHLÁIR**

Planning Department,  
Economic Development Directorate,  
Clare County Council,  
New Road, Ennis,  
Co. Clare.  
V95DXP2

Telephone No. (065) 6821616  
Fax No. (065) 6892071  
Email: [planoff@clarecoco.ie](mailto:planoff@clarecoco.ie)  
Website: [www.clarecoco.ie](http://www.clarecoco.ie)



R25-32

**REQUEST FOR A DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT  
(Section 5 of the Planning & Development Act 2000 (as amended))**

**FEE: €80**

*This following form is a non-statutory form which has been prepared by Clare County Council for the purpose of obtaining the necessary information required for a declaration to be made under Section 5 by the Planning Authority*

<b>1. CORRESPONDENCE DETAILS.</b>	
(a) Name and Address of person seeking the declaration	NBI Designated Infrastructure Company (National Broadband Ireland) 3009 Lake Drive Citywest Dublin 24 D24 H6RR
(b) Telephone No.:	
(c) Email Address:	
(d) Agent's Name and address:	Niamh Mc Fadden Entrust Limited Unit 1 First Floor Oranmore Business Park Co. Galway H91P7X8



**2. DETAILS REGARDING DECLARATION BEING SOUGHT**

(a) PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT  
*Note: only works listed and described under this section will be assessed.*

Sample Question: *Is the construction of a shed at 1 Main St., Ennis development and if so is it exempted development?*

Is the construction of a 12m telecommunications structure at Doolin Pier development and if so is it exempted development?

(b) Provide a full description of the question/matter/subject which arises wherein a declaration of the question is sought.

The proposed development consists of a 12m high modular steel monopole on a concrete plinth (not exceeding 0.6m in diameter at maximum width) alongside 2 No. radio link dishes measuring 0.6m in diameter attached to the proposed pole, a single bay cabinet, 1.2m high palisade fence with 1m access gate, 600x600mm fibre chamber, underground cable connections and all ancillary development thereto.

(c) List of plans, drawings etc. submitted with this request for a declaration:

*(Note: Please provide a site location map to a scale of not less than 1:2500 based on Ordnance Survey map for the areas, to identify the lands in question)*

Location Maps & Photos, Site Location Map plans x2, Proposed Site Layout Plan, Proposed Elevation (Southwest), Proposed Ducts Layout, Proposed Earthing Schematic, Proposed Foundation Details, Proposed Future Operator Cabinet Foundation, Monopole Details

<b>3. DETAILS RE: PROPERTY/SITE/BUILDING FOR WHICH DECLARATION IS SOUGHT</b>	
(a) Postal Address of the Property/Site/Building for which the declaration sought:	Cyril Nagle Land <hr/> Doolin Pier <hr/> Ballaghaline <hr/> Doolin <hr/> Co Clare ITM X:505806 Y:696983
(b) Do the works in question affect a Protected Structure or are within the curtilage of a Protected Structure? If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 (as amended) been requested or issued for the property by the Planning Authority?	No <hr/> <hr/> <hr/>
(c) Legal interest in the land or structure in question of the person requesting the declaration (Give Details):	Leasehold <hr/> <hr/>
(d) If the person in (c) above is not the owner and/or occupier, state the name and address of the owner of the property in question:  <i>Note: Observations in relation to a referral may be requested from the owner/occupier where appropriate.</i>	Cyril Nagle <hr/> <hr/> <hr/>
(e) Is the owner aware of the current request for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended)?:	Yes
(f) Are you aware of any enforcement proceedings connected to this site? <i>If so please supply details:</i>	No
(g) Were there previous planning application/s on this site? <i>If so please supply details:</i>	No
(h) Date on which 'works' in question were completed/are likely to take place:	Not less than 2 months

SIGNED: Niamh McFadden

DATE: 18/04/2025

**GUIDANCE NOTES**

*This following are non-statutory advice notes prepared by Clare County Council for the purpose of advising people what information is required for a decision to be made under Section 5 by the Planning Authority*

- (i) The request for a declaration under Section 5 must be accompanied by 2 copies of site location map based on the Ordnance Survey map for the area of a scale not less than 1:1000 in urban areas and 1:2500 in rural areas and should clearly identify the site in question.
- (ii) The request for a declaration under Section 5 must be accompanied by the required fee of €80.00.
- (iii) If submitting any additional plans/reports etc. as part of the request for a declaration, please submit 2 copies.
- (iv) The request for a declaration should be sent to the following address:

Planning Department,  
Economic Development Directorate,  
Clare County Council  
Aras Contae an Chlair,  
New Road,  
Ennis,  
Co. Clare  
V95DXP2

- (v) Notwithstanding the completion of the above form, the Planning Authority may require the submission of further information with regard to the request in order to enable the Authority to issue a declaration on the question.
- (vi) The Planning Authority may also request other persons to submit information on the question which has arisen and on which the declaration is sought

**FOR OFFICE USE ONLY**

Date Received: .....	Fee Paid: .....
Date Acknowledged: .....	Reference No.: .....
Date Declaration made: .....	CEO No.: .....
Decision:.....	

National Broadband Ireland  
c/o Entrust Planning & Environmental  
Unit 1, First Floor  
Oranmore Business Park  
Oranmore  
Co. Galway  
H91 P7X8

Planning Department  
Economic Development Directorate  
Clare County Council  
Aras Contae an Chlair  
New Road  
Ennis  
Co. Clare  
V95 DXP2

Our Ref: DA501 Inisheer Island (mainland site)

**REGISTERED POST**

18 April 2025

Dear Sir/Madam,

**APPLICATION FOR DECLARATION OF EXEMPTED DEVELOPMENT – NATIONAL BROADBAND IRELAND**

**APPLICATION BY THE STATUTORY UNDERTAKER OF A PROPOSED DEVELOPMENT IN ACCORDANCE WITH SECTION 5 OF THE PLANNING & DEVELOPMENT ACT 2000 (AS AMENDED) AND ARTICLE 6 OF THE PLANNING AND DEVELOPMENT REGULATIONS 2001 (AS AMENDED) TO UTILISE EXEMPT DEVELOPMENT RIGHTS.**

**INSTALLATION AT: LANDS AT CYRIL NAGLE LAND, DOOLIN PIER, BALLAGHALINE, DOOLIN, CO. CLARE (ITM X: 505806 Y: 696983) “the Site”**

On behalf of the Applicant, NBI Designated Activity Company (National Broadband Ireland), we Entrust Ltd “the Agent” write in connection with a proposal to carry out exempted development at the above-named location. This letter forms part of the request for a Declaration of Exempt Development to utilise exempt development rights to install electronic communications apparatus at the Site, which has been chosen as a suitable network point in the design of its fibre broadband network for the area.

**National Broadband Ireland**

The National Broadband Plan (NBP) is the largest ever telecommunications project undertaken by the Irish State. It aims to radically transform the country’s broadband landscape through the delivery of quality, affordable high-speed broadband to all parts of Ireland, particularly islands, where such services are not available commercially. This



**Unit 1, First Floor, Oranmore Business Park, Oranmore, Co. Galway, H91 P7X8**  
**T: +353 91 342511 | E: [contact@entrust-services.com](mailto:contact@entrust-services.com) | W: [entrust-services.com](http://entrust-services.com)**

submission is one, along with other applications, are for telecommunication sites designated in areas designated as State Intervention Areas under the National Broadband Plan map.

The NBP will ensure that all people and businesses have access to high-speed broadband, no matter where they live or work. Once completed, all parts of Ireland will have access to a modern and reliable broadband network, capable of supporting the communications, information, education and entertainment requirements of current and future generations. It will make its services available to 23% of the population in about approximately 544,000 homes, farms, schools and businesses.

As part the National Broadband Plan, National Broadband Ireland "NBI" as statutory undertaker is statutorily obligated to provide fibre broadband to parts of the Republic of Ireland "ROI" requiring state intervention. As part of this programme, NBI is commencing a rollout of radio-link and fire cable and radio-link transmission to provide high-speed wireless broadband to habitable islands off the coast of the ROI. Each proposal on an island will be coupled with a mainland radio-link receiver which, as a result of the separation distance between these apparatuses, are subject to a separate proposal in the planning process.

### Requirement

The proposed radio link dish (pole supported) will be a receiving radio link for its corresponding radio-link at Inisheer Island, in order to connect with the NBI national fibre network. NBI is under strict government license obligations to provide a non-discriminatory high speed broadband service to all parts of the country that are not available commercially, including the islands, at the same data speed. The island included to be linked to Doolin Pier is Inisheer, the smallest of the Aran Islands and approximately 11.3km from Doolin Pier.

### Proposal

The proposal is to install electronic communications apparatus/development on behalf of National Broadband Ireland as follows:

#### Description of Development (as per submitted plans and drawings):

- 12m high modular steel monopole on a concrete plinth (not exceeding 0.6m in diameter at maximum width);
- 2 No. radio-link dish measuring 0.6m in diameter attached to the proposed pole;
- Single-bay cabinet (less than 2 cubic meters in volume when measured externally);
- 1.2m high palisade fence with 1m access gate
- 600x600mm fibre chamber;
- Underground cable connections and all ancillary development thereto.

#### Site Location, Planning History and Planning Designations:

The subject site is located at Doolin Pier, approximately 2.2 km from the village of Doolin in Co. Clare. The site is directly adjacent to the Doolin Pier carpark, to the southwest of the Irish



Coast Guard Unit. Situated in the car park of the pier are ticket offices for Doolin Ferry, O'Brien Ferries and a public toilet facility. Doolin Pier is one of the main transport links to Inisheer, the smallest of the Aran Islands situated off the coast of Co. Galway. As part of the Wild Atlantic Way, Doolin experiences large numbers of tourists during the summer months with Doolin Pier facilitating many tourists' day trips to Inisheer via ferry.

The location of the site is remote with only three dwellings situated within 400m of the site. The landscape surrounding the subject site can be characterised as a typical west of Ireland, rural landscape with green fields, low housing density, seasonal tourist accommodation and recreational activities. The site is accessed via the R459 which links Doolin Pier to Doolin village. The R459 is enclosed by green fields with agricultural and recreational land use. Tourist accommodation is located along the R459 by way of the Atlantic View House B&B and Nagles Camping and Caravan Park approximately 400m and 300m east from the site respectively.

The site is enclosed by three environmental and ecological sites including Black Head-Poulsallagh Complex SAC, Black Head-Poulsallagh Complex pNHA and NHA Burren National Park and the Cliffs of Moher Natural Heritage Area. In addition to this, the site is approximately 2 km south of the Cliffs of Moher SPA. There are five SMR's situated within 500m of the subject site, with the nearest being a Midden 130m west.

The site is situated on the Burren Uplands and is characterised as a Heritage Landscape which stresses the protection of the natural biodiversity of the Burren and the rich cultural, natural, archaeological, sporting, oral, industrial and maritime heritage discovered in County Clare.

The site is situated on land zoned as Maritime / Harbour due to its location on Doolin Pier. Developments in Maritime / Harbour zones are to include small-scale, water based commercial or tourism activity and associated facilities including car parking facilities. Clare County Council are currently working on a Masterplan for Doolin Pier which according to objective CDP 11.21 of the Clare County Development Plan 2023-2029 should be completed during the lifetime of the Plan. The Doolin Pier Masterplan is focusing on developing the area of the pier including a new pier south of the existing one and a new approach road with the goal of supporting tourism in the village. The preservation of the public realm is an important feature of the Doolin Pier Masterplan and ensuring developments are unintrusive and not visually unpleasant is important particularly as there is a clear pursuit of increased tourism activity in the area. ?

The proposed development can be absorbed comfortably into the landscape with the aid of existing vertical infrastructure in the area such as streetlight poles and utility poles. Structures such as the proposal can be expected at pier locations therefore it is not anticipated to be an overly discordant feature in the area.





**Figure 1:** Subject site location in proximity to the Coast Guard Unit.



**Figure 2:** Greenfield landscape surrounding the site location.





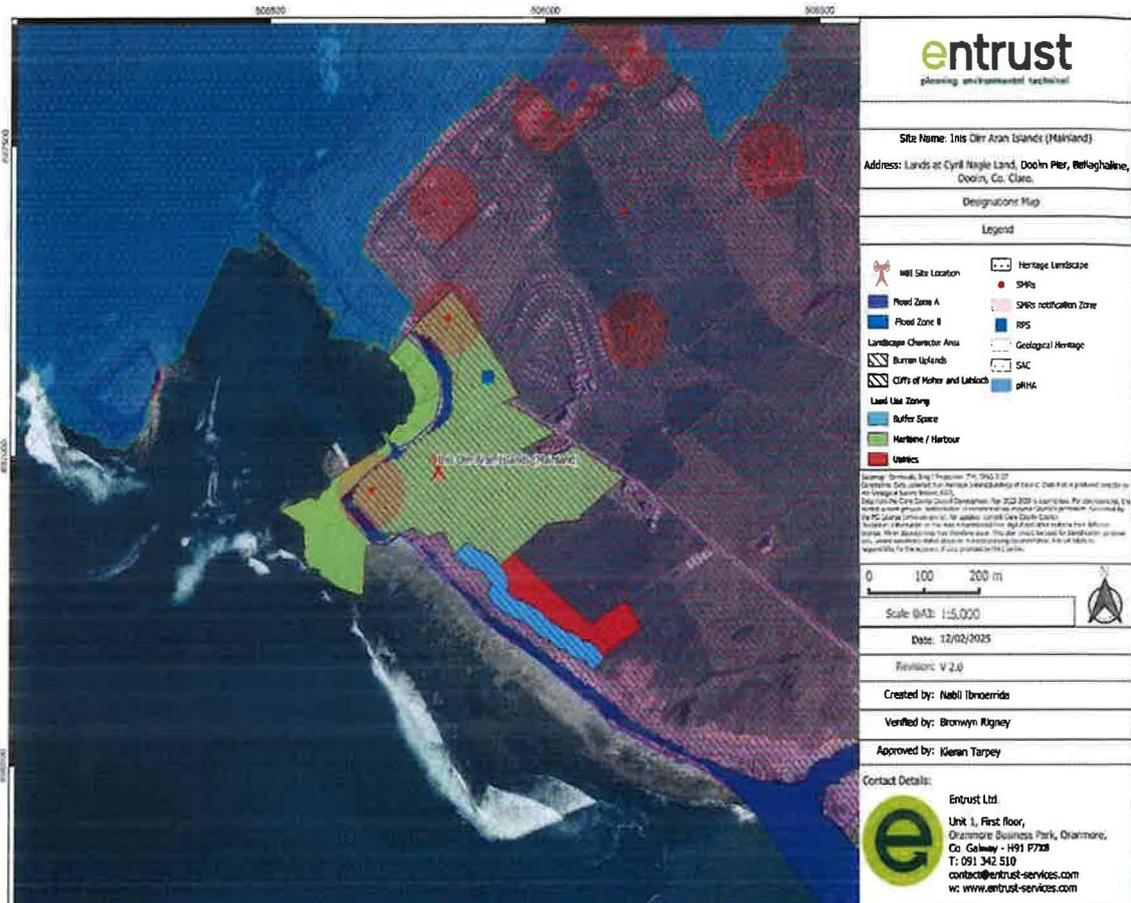
**Figure 3:** View of the site from a nearby SMR.



**Figure 4:** View of the site showing extensive vertical infrastructure in the environs.



As of April 2025, there is no relevant planning history at the site location.



**Figure 5:** Doolin Pier designations map (prepared by Entrust Ltd)

The proposed development is situated adjacent to three environmental and ecological designations and approximately 2km north from the Cliffs of Moher SPA (004005). An Appropriate Assessment Screening Report “the report” prepared by Enviroguide Ltd has been included with this submission. The report identifies European designated sites within a Zone of Influence (ZOI) established by the methodology of the report.

**Enviroguide Reports**

The Proposed Project consisting of the installation of Broadband Radio Link on Inis Oirr Island (Mainland – Cyril Nagel’s Land) (DA501), has been assessed taking into account:

- The nature, size and location of the proposed installations and possible impacts arising from the installation activities.
- The qualifying interests and conservation objectives of the European sites.
- The potential for in-combination effects arising from other plans and projects.



Upon the examination, analysis and evaluation of the relevant information and applying the precautionary principle, it is concluded by the authors of the report that, on the basis of objective information; the possibility can be excluded that the Proposed Project will have a likely significant effect on any of the European sites listed below:

- Ballyteige (Clare) SAC (000994)
- Black Head-Poulsallagh Complex SAC (000020)
- Inagh River Estuary SAC (000036)
- Inisheer Island SAC (001275)
- Inishmaan Island SAC (000212)
- Moneen Mountain SAC (000054)
- Cliffs of Moher SPA (004005)

Therefore, it can be contended on the basis of the results of Stage 1 of the AA process that there is no requirement for a stage 2 AA, nor an NIS for this application.

The proposal is located approximately 130m east from the closest scheduled monument, which is a *Midden* (ID Code CLA008A006) located at E: 505685 N: 696944. The Site is located approx. 170m south of the nearest RPS (Record of Protected Structure) which is *The Irish Coastguard Doolin Unit* (ID Code 546).

Article 9(1)(a)(vi) Restrictions on exemptions of the Regulations states:

*Development to which article 6 relates shall not be exempted development for the purposes of the Act*

*(a) if the carrying out of such development would—*

*(vi) interfere with the character of a landscape, or a view or prospect of special amenity value or special interest, the preservation of which is an objective of a development plan for the area in which the development is proposed or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,*

A photomontage report prepared by Entrust Ltd has been submitted in order for any potential impacts on landscape and visual amenities to be demonstrated. The photomontages are based on 3no. viewpoints, selected for their positions within a Zone of Theoretical Visibility, and are designed to represent the level of visual impact of the structure from different directions and distances from the site. The photomontage demonstrates that where the proposed structure would be visible, it would be visible in the context of similar existing vertical infrastructure and buildings.

The Clare County Development Plan 2023-2029 objective CDP 14.6 declares that every effort must be made to integrate the proposed development within the seascape character of the area with respect to the visual impact of the structure in addition to the design, siting and finishing landscaping.



## Exempt Development

Please accept this submission as a formal application for a Declaration for Exempt Development under Section 5 (1) of the Planning and Development Act 2000 (as amended) “the Act”, where Article 6 of the Planning and Development Regulations 2001-2023 (as amended) “the Regulations” provides that:

*Subject to Article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite of the mention of that class in the said column 2.*

and where Section 2 of the Act defines statutory undertaker as:

*“Statutory Undertaker” means a person, for the time being, authorised by or under any enactment or instrument under an enactment to – (a) construct or operate a railway, canal, inland navigation, dock, harbour or airport, (b) provide, or carry out works for the provision of, gas, electricity or telecommunications services, or (c) provide services connected with, or carry out works for the purposes of the carrying on of the activities of, any public undertaking”.*

It is considered that this proposal is exempt development in accordance with the Regulations. The tables below demonstrate the proposed development’s compliance with SI No. 600, 2001–2020, Schedule 2, Part 1, Class 31 (b) for overhead telecommunications including the erection of poles or other support structures or the use of existing poles or other support structures.



**Section 5: Planning Exemptions**

**Relevant Planning Exemption/s as it relates to subject proposal**

**New 12m Pole/Structure**

<p>Conditions and Limitations SI No. 31, 2001 (as amended) (b) 'overhead telecommunications including the erection of poles or other support structures or the use of existing poles or other support structures.'</p>	<p>Compliance with Conditions and Limitations SI No. 31, 2001 (as amended) (b) of Schedule 2, Part 1 of the Planning and Development regulations 2001</p>
	<ol style="list-style-type: none"> <li>1. Poles or other support structures carrying overhead lines shall not exceed <u>12m in height</u>.</li> <li>2. Poles or other support structures carrying other equipment shall not exceed 12 metres in height and <u>0.6m metres in diameter</u> measured at the widest point, where 'other equipment' means <u>2 transmitting or receiving dishes</u> (the diameter of which shall not exceed 0.6 metres), <u>or 1 panel antenna</u> (the dimensions of which shall not exceed 0.85 metres in length x 0.65 metres in width x 0.2 metres in depth) used for the provision of a specific telecommunications service and the provision of which would otherwise require an additional pole route carrying overhead wires.</li> <li>3. Where a pole or poles or other support structures carry radio transmitting or receiving apparatus, the field strength of the <u>non-ionising radiation</u> emissions from the installation shall not exceed the limits specified by the Commission for Communications Regulation.</li> </ol>
<p><b>Analysis:</b></p>	<p>The proposed wooden pole structure is 12m in height. The attachment of 2no. 600mm diameter dishes, which is <b>compliant</b> with the conditions/limitations set out above.</p>

**Equipment Cabinet**

<p>Conditions and Limitations SI No. 31, 2001 (as amended) (f) 'cabinets forming part of a telecommunications system'</p>	<p>Compliance with Conditions and Limitations SI No. 31, 2001 (as amended) (f)</p>
<p>The volume above the ground-level of any such cabinet shall not exceed 2 cubic metres measured externally.</p>	<p>The volume above the ground-level of any such cabinet will not exceed 2 cubic metres measured externally.</p>
<p><b>Analysis:</b></p>	<p>The NBI single-bay cabinet is considered <b>compliant</b> with this condition/limitation.</p>



**Fence**

Conditions and Limitations Part 1, Class 11, P&D Regulations 2001 (as amended)	Compliance with Conditions and Limitations Part 1, Class 11, 2001 (as amended)
'The construction, erection, lowering, repair or replacement, other than within or bounding the curtilage of a house, of – (a) Any fence (not being a hoarding or sheet metal fence); or (b) Any wall of brick, stone, blocks with decorative finish, other concrete blocks or mass concrete'	1. The height of any new structure shall not exceed 1.2 metres or the height of the structure being replaced, whichever is the greater, and in any event shall not exceed 2 metres 2. Every wall, other than a dry or natural stone wall, constructed or erected bounding a road shall be capped and the face of any wall of concrete or concrete blocks (other than blocks of a decorative finish) which will be visible from any road, path or public area, including a public open space, shall be rendered or plastered.
<b>Analysis:</b>	The palisade fence measures 1.2m high which is compliant with these regulations.

**Underground Utilities**

Conditions and Limitations SI No. 31, 2001 (as amended) (a)	Compliance with Conditions and Limitations SI No. 31, 2001 (as amended) (a)
The carrying out by a statutory undertaker authorised to provide a telecommunications service of development consisting of the provision of—	(a) underground telecommunications structures or other underground telecommunications works (including the laying of mains and cables and the installation underground of any apparatus or equipment),
<b>Analysis:</b>	All proposed underground works are considered to be compliant with this condition/limitation.



Yours faithfully,

*Niamh McFadden*

**Niamh Mc Fadden**

Graduate Planning Consultant  
Entrust Planning & Environmental for Obelisk Limited  
On behalf of NBI Designated Activity Company (National Broadband Ireland)  
Email: niamh@entrust-services.com  
Tel: 091 342 511

Enclosures:

- Cover Letter (this document);
- Clare County Council Declaration of Exempted Development Application Form;
- Screening for Appropriate Assessment – prepared by Enviroguide Ltd.;
- Photomontage report – prepared by Entrust Ltd.
- Plans & Drawings (see Schedule below);
- €80 cheque for submission fee;

<b>Drawing No.</b>	<b>Drawing Title</b>	<b>Scale</b>
001/Rev B	Location Maps & Photos	1:40,000
002/Rev B	Site Location Map Plan	1:1000
003/Rev B	Site Location Map Plan	1:500
004/Rev B	Proposed Site Layout	1:50
005/Rev B	Proposed Elevation (Southwest)	1:50
006/Rev B	Proposed Ducts Layout	1:30
007/Rev B	Proposed Earthing schematic	NTS
008/Rev B	Proposed Foundation Details	NTS
009/Rev B	Proposed Future Operator Cabinet Foundation	1:20
010/Rev B	Monopole Details	1:50





**Enviroguide**  
a DNV company

# APPROPRIATE ASSESSMENT SCREENING REPORT

PRESENTED TO

**National Broadband Ireland**



DATE

**April 2025**

## DOCUMENT CONTROL SHEET

<b>Client</b>	National Broadband Ireland
<b>Project Title</b>	Upgrade/Installation of Wireless Broadband Network at DA501 Inis Oirr Island (Cyril Nagel's Land Mainland Radio Link)
<b>Document Title</b>	Appropriate Assessment Screening Report

Rev.	STATUS	Author(s)	Reviewed by	Approved by	Issue Date
1.0	Internal Draft	CRK <i>Ecologist</i>	-	-	-
2.0	Draft for client review	CRK <i>Ecologist</i>	-	-	-
3.0	Final	CRK <i>Ecologist</i>	AC <i>Senior Ecologist</i>	NB <i>Senior Ecologist</i>	10/04/2025

## REPORT LIMITATIONS

Synergy Environmental Ltd. t/a Enviroguide Consulting (hereafter referred to as "Enviroguide") has prepared this report for the sole use of National Broadband Ireland in accordance with the Agreement under which our services were performed. No other warranty, expressed or implied, is made as to the professional advice included in this Report or any other services provided by Enviroguide.

The information contained in this Report is based upon information provided by others and upon the assumption that all relevant information has been provided by those parties from whom it has been requested and that such information is accurate. Information obtained by Enviroguide has not been independently verified by Enviroguide, unless otherwise stated in the Report.

The methodology adopted and the sources of information used by Enviroguide in providing its services are outlined in this Report.

The work described in this Report is based on the conditions encountered and the information available during said period. The scope of this Report and the services are accordingly factually limited by these circumstances.

All work carried out in preparing this report has used, and is based upon, Enviroguide's professional knowledge and understanding of the current relevant national legislation. Future changes in applicable legislation may cause the opinion, advice, recommendations or conclusions set out in this report to become inappropriate or incorrect. However, in giving its opinions, advice, recommendations and conclusions, Enviroguide has considered pending changes to environmental legislation and regulations of which it is currently aware. Following delivery of this report, Enviroguide will have no obligation to advise the client of any such changes, or of their repercussions.

Enviroguide disclaim any undertaking or obligation to advise any person of any change in any matter affecting the Report, which may come or be brought to Enviroguide's attention after the date of the Report.

Certain statements made in the Report that are not historical facts may constitute estimates, projections or other forward-looking statements and even though they are based on reasonable assumptions as of the date of the Report, such forward-looking statements by their nature involve risks and uncertainties that could cause actual results to differ materially from the results predicted. Enviroguide specifically does not guarantee or warrant any estimate or projections contained in this Report.

Unless otherwise stated in this Report, the assessments made assume that the site and facilities will continue to be used for their current or stated proposed purpose without significant changes.

The content of this report represents the professional opinion of experienced environmental consultants. Enviroguide does not provide legal advice or an accounting interpretation of liabilities, contingent liabilities or provisions.

If the scope of work includes subsurface investigation such as boreholes, trial pits and laboratory testing of samples collected from the subsurface or other areas of the site, and environmental or engineering interpretation of such information, attention is drawn to the fact that special risks occur whenever engineering, environmental and related disciplines are applied to identify subsurface conditions. Even a comprehensive sampling and testing programme implemented in accordance with best practice and a professional standard of care may fail to detect certain conditions. Laboratory testing results are not independently verified by Enviroguide and have been assumed to be accurate. The environmental, ecological, geological, geotechnical, geochemical and hydrogeological conditions that Enviroguide interprets to exist between sampling points may differ from those that actually exist. Passage of time, natural occurrences and activities on and/or near the site may substantially alter encountered conditions.

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## 1 INTRODUCTION

### 1.1 Background

Enviroguide Consulting was commissioned by National Broadband Ireland (NBI) to prepare an Appropriate Assessment (AA) Screening Report for the upgrade/installation of wireless broadband services to buildings in the Inis Oirr Island area, hereafter referred to as the 'Project', 'Proposed Project' or 'Proposed Installation' when referring to the upgrade/installation of broadband services to buildings in the Inis Oirr Island area. This AA Screening Report (the "Screening Report") considers whether the Proposed Project is likely to have a significant effect on a European site and whether a Stage 2 AA is required. This Screening Report has been prepared based on design data for the installation of a radio link on the mainland of Inis Oirr Island only. Three separate AA Screening reports will address (i) the potential impacts of poles, chambers, and fibre ducts on Inis Oirr Island itself, to connect homes and businesses, (ii) the potential impacts of a second radio link on Inis Oirr Island (airport), which is integral to the connection, and (iii) the potential impact of an additional radio link on Inis Oirr Island (Aras Eanna Arts Centre).

Further details relevant to the AA Screening process are laid out in the Appendices of this document:

- Legislation regarding the protection of European sites –Appendix 1
- AA process, guidance followed and the steps of a Stage 1 assessment – Appendix 2
- A description of the Zone of Influence (ZOI) and Source-Pathway-Receptor (S-P-R) method – Appendix 3
- Assessment of Impacts (including definitions of duration and significance) – Appendix 4

### 1.2 Quality Assurance and Competency

Enviroguide Consulting is a multi-disciplinary consultancy specialising in the areas of the Environment, Waste Management and Planning. All Enviroguide consultants carry scientific or engineering qualifications and have a wealth of experience working within the Environmental Consultancy sectors, having undergone extensive training and continued professional development.

Enviroguide Consulting as a company remains fully briefed in European and Irish environmental policy and legislation. Enviroguide staff members are highly qualified in their field. Professional memberships include the Chartered Institution of Wastes Management (CIWM), the Irish Environmental Law Association and Chartered Institute of Ecology and Environmental Management (CIEEM).

All surveying and reporting have been carried out by qualified and experienced ecologists and environmental consultants.

### 1.3 Description of the National Broadband Plan (NBP)

The National Broadband Plan (NBP) aims to transform the country's broadband landscape through the delivery of high-speed broadband to all parts of Ireland where such services are not available commercially. NBI will make its services available to the entire rollout area, which accounts for 23% of the population in approximately 537,000 homes, farms, schools and

businesses. NBI will provide around 146,000 kilometres of fibre to connect over half a million homes, covering 96% of Ireland's land mass. Up to 1,800 people will be working on the project at its peak.

To deliver on the commitments outlined above NBI has broken the country down into 227 separate project locations known as Deployment Areas or DAs.

#### 1.4 Description of the Inis Oirr Island Project

The Proposed Project involves the upgrade and installation of telecommunications infrastructure to buildings on Inis Oirr Island. The broadband connection to Inis Oirr Island will consist of the following:

- The installation of poles chambers and fibreducts along roadside verges and to private dwellings on Inis Oirr Island (for further details see the AA Screening under separate cover for DA501 Inis Oirr Island (Enviroguide 2025a)).
- The installation of a radio link on Inis Oirr Island (Airport) (for further details see the AA Screening under separate cover for Inis Oirr Island Radio Link (Location B – Airport) (Enviroguide 2025b)).
- The installation of an additional radio link on Inis Oirr Island (Aras Eanna Arts Centre) (for further details see the AA Screening under separate cover for Inis Oirr Island Radio Link (Aras Eanna Arts Centre) (Enviroguide 2025c)).
- The installation of a radio link on the mainland (which is detailed further in this report).

Figure 1 shows the location of the two Island radio links and the Mainland radio link.

The installation of a radio link on Inis Oirr Island will involve the construction of:

- 1 no. 12m steel structure,
- 1 no. cabinet plinth
- 1 no. chambers,
- 15m of ducting,
- and all associated works including earthing.

Works are expected to commence in October 2025 and run until December 2025 (a duration of approximately 3 months).

#### 1.5 Site Location

As per the Construction Management Plan for DA501 Inis Oirr Island – Mainland (Cyril Magel's Land) (Obelisk, 2025):

*" The site of the works is situated near Doolin Pier. The works will take place at 53°00'54.8"N 9°24'13.6"W / 53.015208, -9.403770. There is an existing access route to the proposed location."*



FIGURE 1: PROPOSED RADIO LINK LOCATIONS ON INIS OIRR ISLAND AND THE MAINLAND.

## 1.6 Description of Installation Activities (Construction Phase)

All installation activities will be undertaken in accordance with a project specific risk assessment and method statement, provided by NBI. Ground works, construction, and installation is described in Sections 1.6.1 to 1.6.6. Figure 2 to Figure 4 highlight certain construction aspects, and Figure 5 to Figure 7 includes photographs of the Site of the Proposed works. The following construction plant and vehicles are envisaged to be required on site during the construction phase:

**TABLE 1: CONSTRUCTION PLANT AND VEHICLES REQUIRED ON SITE DURING THE CONSTRUCTION PHASE:**

Vehicle	Duration
6-ton 360-degree excavator	10 days
3-ton site dumper	5 days
50-ton mobile crane	1 day
Concrete delivery lorries entering and exiting the site	2 days
Hiab tipper truck	3 days
Site personnel vans and jeeps on site on all working days in designated parking areas within Exchange.	

### 1.6.1 Construction of Steel Structure Concrete Base.

- Excavate for 4m x 4m x 1.2m base and dispose of spoil off site.
- Timber shutters will be erected in the excavation to form the structure base area.
- Install the Steel Pole base template
- Steel Rebar will be installed within the base area.
- ESB and Fibre Ducting will be placed with the base as per design.
- Concrete is poured in the base and finished to the correct specification.
- No cabinet concrete plinth required as cabinet will be placed on the structure base.

### 1.6.2 Construction of Concrete Plinth.

The Plinth refers to the concrete base required for the Outdoor Cabinet.

- Timber shutters will be erected next to the structure base.
- Steel Mesh will be placed in the plinth area and the base will be poured at the same level as the finished concrete for the structure.

### 1.6.3 Erection of 12m Structure.

- 12m Steel Structure will be erected on to the new CHS stubs on the concrete base.
- The new concrete base will be allowed to cure before installation of the steel structure.
- The steel structure will be delivered to site by Hiab Truck and erected on to the holding down bolts in the base by a Teleporter or Hiab truck.
- The steel structure will be secured and torqued to manufactured specifications
- Structure Steelwork, Fall Arrest system, Lightning Finial, Earth down-conductor and Anti Climb Device will be mounted on the structure and secured as per manufactures specifications.

- The structure will be inspected and safe to climb and fall arrest certs issued.

#### **1.6.4 Construction of Compound.**

The Compound relates to the area of ground to be taken for the structure and cabinet.

- A 600mm x 600mm precast chamber will be installed within the compound, beside the cabinet base and an NBI steel cover secured on top.
- Fibre ducting will be connected into the chamber from the cabinet base.
- An ESB duct will be laid in a trench from the cabinet base and trenched to the nearest ESB mini pillar, laid to ESB installation specifications.
- Lightning protection earth tape will be laid in the compound area around the structure base and cabinet plinth and tails will connect all steel elements within the compound. Earth rods will be driven, and concrete earth pots placed over the rods. Earth tests will be conducted to the system as per standard lightning protection specifications.
- A compound fence to match the existing fencing at the Pier Car Park will be erected to for the compound area
- A Terram layer will be laid in the compound area to prevent weed growth and water accumulation in the compound area.
- A layer of clean stone (washed gravel) will be laid and levelled in the compound to give a neat finish to the compound area.

#### **1.6.5 Installation of Underground Chambers.**

- All chambers will be 600mm x 600mm internal opening. Including lid and concrete plinth this will extend to 900mm x 900mm plan area.
- A tracked mini-excavator or a wheeled backhoe such as a JCB will excavate a hole for the installation of a chamber at the infrastructure installation location(s), to the design depths required (the chambers are approximately 600mm deep internally).
- Once the infrastructure has been installed the open excavation will be backfilled with imported C1808 and topped off with previously excavated spoil and the ground reinstated.
- The quantity of excavated material is dependent on the length and depth of the required excavations; all surplus material is placed into suitable containers and removed from site by truck for compliant waste management.

#### **1.6.6 Installation of Fibre Duct (Underground, Trench Method).**

- A tracked mini-excavator or a wheeled backhoe such as a JCB will excavate a trench to a trench depth of 750 millimetres.
- Once the infrastructure has been installed the open excavation will be backfilled as per the Guidelines for the Opening, Backfilling and Reinstatement of Openings in Public Road (Department of Transport, Tourism and Sport, 2017).
- The quantity of excavated material is dependent on the length and depth of the required excavations; all surplus material is placed into suitable containers and removed from site by truck for compliant waste management.
- Two trench depths are utilised depending on environmental constraints such as soil and rock type at a local level: 'shallow trench' refers to a trench depth of 350 millimetres below surface, and 'traditional trench' refers to a trench depth of 750 millimetres below surface.

The methodologies outlined above are part of the embedded design plan for the National Broadband Project and are standard best practice.

### 1.7 Programme of Works (Construction Phase)

The below table provides a sample construction program which the client envisages:

TABLE 2: PROGRAMME OF WORKS

Work Type	Day	Scope of Works
Civil Works	1	Set up Health and Safety Signage at the site entrance. Mark out site location. Erect security fencing to form compound.
	2	Commence work on telecommunications compound.
	3-4	Excavation of structure foundation base using 360-degree excavator and 3tonne dumper truck to remove soil spoil to HIAB equipped tipper truck.
	5	Tying rebar for telecom structure foundation and form shuttering, install structure template.
	6	Pour concrete structure foundation base using standard concrete trucks.
	7-11	Compound construction and install ESB ducting, mini pillar and power meter cabinet.
	12-14	Build associated cable gantry/cable management systems. Install all site signage. Install all LP and test. Complete all associated power works.
	15	Take delivery of telecom structure and erect with 50-ton crane
	16	Complete all civil works
	17	Final site inspection to ensure site is left clean and tidy and ready for operational phase

### 1.8 Control and Management of Materials

As per Construction Management Plan for DA501 Inis Oirr Island - Mainland (Cyril Magel's Land) (Obelisk, 2025):

- Appropriate arrangements are made by the project team for the safe storage, handling and identification of materials which control and prevent potential damage, theft, misuse and pollution. No fuel or chemicals will be stored on site.
- On delivery, materials will be checked by the project team for damage and quantity and goods receipted into the operating system against the original order. These records are held within the Construction Phase Project File.
- Any materials which fail to meet the specified requirements will be quarantined and clearly labelled to prevent unintended use. Such materials will be reported to the Project Manager who will review the situation and where it is deemed necessary will raise a non-conformance against the supplier.

- For damaged or defective materials, the project team will liaise with the procurement department to decide for replacements and return of non-conforming items to the supplier.
- In addition, the Project Team will plan for stock control and replenishment and where necessary.

### **1.9 Protection of Soil, Surface Waters and Groundwater During Construction Stage**

As per Construction Management Plan for DA501 Inis Oirr Island - Mainland (Cyril Magel's Land) (Obelisk, 2025):

- All liquid and hazardous material will be stored in a designated and temporarily bunded area with appropriate signage. The temporary bunded area shall be located within the designated storage area located within the compound area of the site.
- There will be no discharge of effluent to groundwater or surface water during the construction phase. Temporary portable toilet facilities only shall be used at the site.
- Spill kits will be provided in areas where liquids are stored and refuelling area.
- Contractors will be responsible for ensuring the regular maintenance of construction plant and equipment, to prevent leaks.
- A wheel wash system shall be provided at the main site exit location if deemed necessary.
- Refuelling of plant during construction will not be carried out at the location of the proposed works but instead only within a designated refuelling area within the proposed temporary construction compounds.
- Only emergency breakdown maintenance will be carried out at the location of the works. The refuelling area will be furnished with fuel absorbent material and pads in the event of any accidental spillages. The fuel bowser/tank will be located on a level area in the construction compound when not in use and only designated trained and competent operatives will be authorised to refuel plant. Drip trays and spill kits will be kept available on site to ensure that any spills from vehicles are contained and removed off site. Fuels stored on site will be minimised. Any storage areas will be bunded appropriately for the fuel storage volume for the time period of the construction.
- Spill kits will be available to deal with accidental spillages.
- A regular review of weather forecasts for heavy rainfall will be required and the contractor will be required to prepare a contingency plan for before and after such events. Weather conditions will be taken into consideration when planning construction activities to minimise risk of run off from site.
- All materials shall be stored at the temporary compound and transported to the works zone immediately prior to construction
- Provision of exclusion zones and barriers (silt fences) between any piled excavated material and any surface water features to prevent sediment washing into the receiving water environment.
- The contractor shall ensure that silt fences are regularly inspected and maintained during the construction phase if being used; If very wet ground must be accessed during the construction process bog mats/aluminium panel tracks will be used to

enable access to these areas by machinery. However, works will be scheduled to minimise access requirements during winter months.

- The contractor shall ensure that all personnel working on site are trained in pollution incident control response.
- The contractor will carry out visual examinations of local watercourses from the proposed works during the construction phase to ensure that sediment is not above baseline conditions.
- In the unlikely event of water quality concerns, the Environmental Manager will be consulted.
- Excavations will be left open for minimal periods to avoid acting as a conduit for surface water flows.
- Concrete or potential concrete contaminated water run-off will not be allowed to enter any watercourses. Any pouring of concrete (delivered to site ready mixed) will only be carried out in dry weather. Washout of concrete trucks shall not be permitted on site. The delivery point for concrete will be within the bunded designated construction compound areas. Any compressors or generators used for connecting operations will be fitted with drip trays to collect any potential fuel and oil spills.
- Entry by plant equipment, machinery, vehicles and construction personnel into watercourses or wet drainage ditches shall not be permitted. All routes used for construction traffic shall be protected against migration of soil or wastewater into watercourses.
- Where the removal of woody vegetation is required to facilitate the proposed development, vegetation removal will, where possible, take place outside the bird breeding season (March to August inclusive). Woody vegetation clearance will only occur during the breeding season following surveys carried out by a suitably qualified ecologist, which confirm the absence of breeding birds. In instances where nest sites are identified then clearance will not take place until the nest is vacated.

### **1.10 Description of Maintenance Activities (Operational Phase)**

All maintenance activities will be undertaken in accordance with a project specific risk assessment and method statement, provided by NBI. Maintenance works are detailed in Sections 1.10.1 to 1.10.3.

#### **1.10.1 Compound**

- Annual maintenance and inspection of the compound to include removal of weeds, check and repair and fence defects and inspect the earth system and fibre chambers.

#### **1.10.2 Structure**

- An annual climb down inspection of the structure will be conducted to check the following – structure holding down bolts and nuts, structure section bolts and nuts. A percentage of the bolts will be torqued to manufactures specification and defects noted and reported to NBI.
- Inspect and re-certify the Fall Arrest system on the structure.
- Inspect the Anti Climb Device.
- Inspect the earthing down conductors.
- Inspect the NBI licensed radio equipment on the structure including associated cabling.

- Re-issue a safe to climb certificate.

### **1.10.3 Cabinet**

- Annual maintenance and inspection of the cabinet to include replacement of the ventilation filters and grills.
- Inspect and repair door locking barrels.
- Inspect and report any alarms visible in the cabinet to NBI Operations.



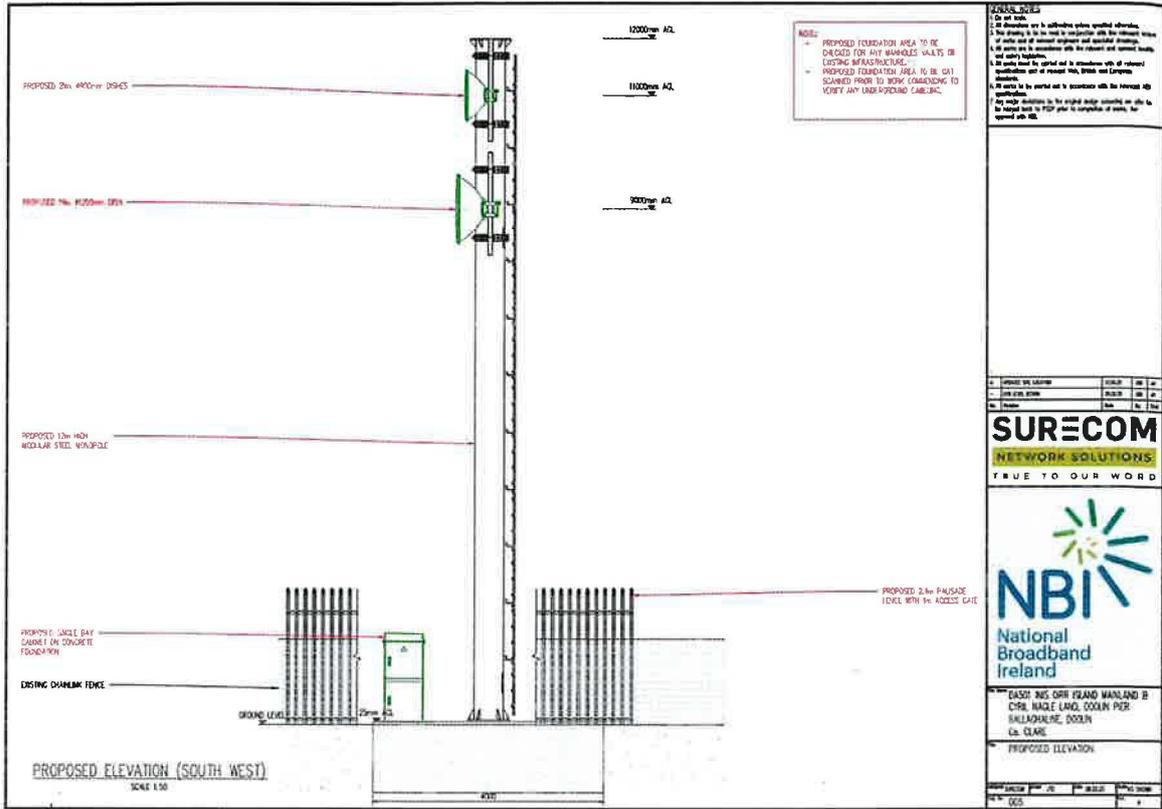


FIGURE 4: PROPOSED ELEVATION (NBI, 2025)



FIGURE 5: SITE PHOTOGRAPH INDICATING THE LOCATION OF THE PROPOSED WORKS (NBI, 2025)



FIGURE 6: SITE PHOTOGRAPH INDICATING THE PROPOSED ELEVATION (NBI, 2025)



FIGURE 7: SITE PHOTOGRAPH INDICATING THE PROPOSED LOCATION OF NBI EQUIPMENT (NBI, 2025)

### 1.11 Existing Environment

The Proposed Installation is situated in County Clare. The area is predominantly rural and maritime. The surrounding hydrology (catchments, lake waterbodies, river waterbodies and groundwater bodies and groundwater vulnerability) is illustrated in Figure 8. The project route is situated within the *Mal Bay* catchment and surrounded by the *Shannon Plume* coastal waterbody. The project route is situated on the *Slieve Elva* groundwater body, where the groundwater vulnerability is classed as 'Rock at or Near Surface or Karst'. There is no mapped freshwater pearl mussel habitat in the vicinity of Inis Oirr Island or the mainland site for which this report is written.

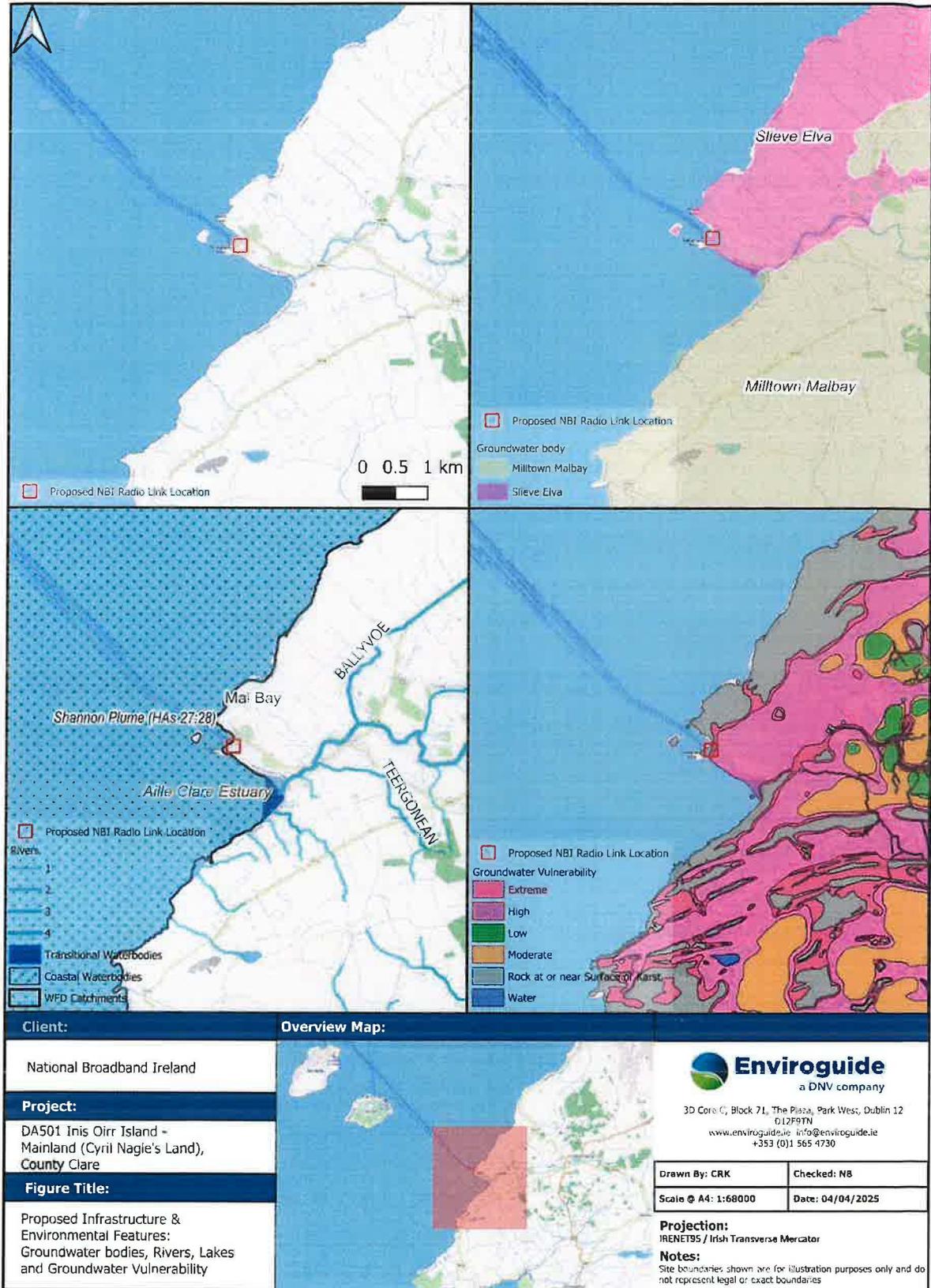


FIGURE 8: PROPOSED PROJECT LOCATION SHOWING THE LOCATION OF NEW AND VARIOUS ENVIRONMENTAL FEATURES

## 2 APPROPRIATE ASSESSMENT – STAGE 1 SCREENING

### 2.1 Methodology

#### 2.1.1 Desk Study

A desktop study was carried out to collate and review up to date information, datasets, and documentation sources relevant for the completion of the Screening Report. The steps involved in completing an AA Screening are detailed in Appendix 2. The identification of European Sites within the Zone of Influence (ZOI) and the Source-Pathway-Receptor (S-P-R) method is outlined in Appendix 3. The criteria used to define the duration and significance of impacts is outlined in Appendix 4. The desktop study, completed in April 2025, relied on the following sources:

- National Parks and Wildlife Service (NPWS) datasets.
- Geological Survey Ireland (GSI) online datasets and mapping.
- Environmental Protection Agency (EPA) mapping and datasets.
- OSI aerial imagery and Discovery Series mapping.
- Satellite imagery from various sources and dates (Google, Digital Globe, Bing).
- The Status of EU Protected Habitats in Ireland (NPWS).
- Office of Public Works (OPW) Flood Plans (<https://www.floodinfo.ie/map/flood-plans/>).
- Department of Agriculture, Food and the Marine Forestry Licence Viewer <https://forestry-maps.apps.rhos.agriculture.gov.ie/>

For a complete list of the specific documents consulted as part of this assessment, see Section 4.

### 2.2 European sites in the Zone of Influence (ZOI)

7 European sites (6 SACs and 1 SPA) are located within the precautionary ZOI of the Proposed Project. Figure 9 shows the Project route and European sites within the ZOI of the Proposed Project, which are as follows:

- *Ballyteige (Clare) SAC (000994)*
- *Black Head-Poulsallagh Complex SAC (000020)*
- *Inagh River Estuary SAC (000036)*
- *Inisheer Island SAC (001275)*
- *Inishmaan Island SAC (000212)*
- *Moneen Mountain SAC (000054)*
- *Cliffs of Moher SPA (004005)*

#### 2.2.1 European sites with no pathways established

A total of 7 European sites were screened out following the assessment described in Section 2.1 for the following reasons:

1. the absence of an established pathway (e.g., hydrological, land, air) between installation activity and a European site, or;

2. the presence of a weak hydrological pathway between installation activity and a European site, deemed insignificant due to the hydrological buffering effect of the intervening distance between installation activity and a European site.

As no European sites are situated within the project route, there are no land pathways established between any European site and the Proposed Project.

As the Proposed Project is not located within 30m of any European site with noise sensitive receptors, and there will be no night working or significant dust emission, there are no air pathways established between any European sites and the Proposed Project. As all other European sites are located further away from the Proposed Project than *Black Head-Poulsallagh Complex SAC (000020)* (which is 183m north of the Site), the potential for an air pathway was deemed negligible, by proxy. The Proposed Project exceeds 1.3 km to the nearest SPA, *Cliffs of Moher SPA (004005)*. Therefore, the risk of collision to SCI species from this SPA is considered negligible. In addition, the Proposed Structure will be installed in proximity to an existing building (Irish coast guard Doolin unit) of greater height, to which SCI species will be acclimatised.

The closest European site to the Proposed Project is *Black Head-Poulsallagh Complex SAC (000020)*, which is at its closest point located 183m from the Proposed Installation Activities, via ground and surface water. Given the nature of the intervening area of built surfaces, the distance, and the minor nature of the installation activities to be carried out, it can be concluded that there is a negligible hydrological pathway between Installation activities and this SAC. As all other European sites are located further afield from the installation activities than *Black Head-Poulsallagh Complex SAC (000020)*, the potential for a hydrological pathway to these sites was deemed negligible by proxy.

Therefore, the following 7 European sites are situated within the project route and/or within the precautionary ZOI of the project and have been deemed to have **no direct or indirect pathway to the project** via land air or hydrological means:

- *Ballyteige (Clare) SAC (000994)*
- *Black Head-Poulsallagh Complex SAC (000020)*
- *Inagh River Estuary SAC (000036)*
- *Inisheer Island SAC (001275)*
- *Inishmaan Island SAC (000212)*
- *Moneen Mountain SAC (000054)*
- *Cliffs of Moher SPA (004005)*

Therefore, these European sites are not considered further in this report.

## 2.2.2 Management of European sites

The development and operation of the plan by NBI to install/upgrade the broadband services in the area of Inis Oirr Island, (the project) is not directly connected with or necessary to the management of European sites in the area or elsewhere.

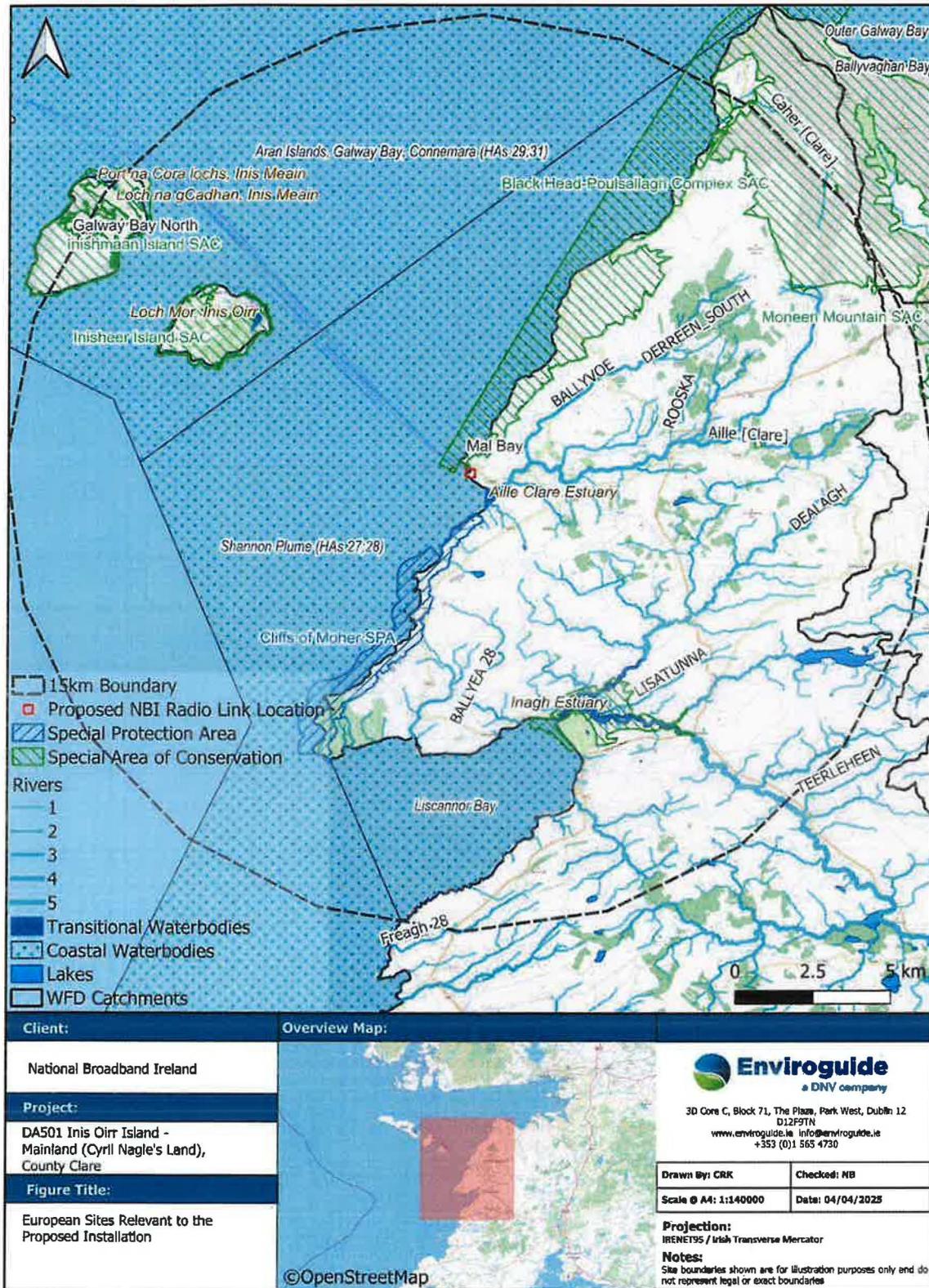


FIGURE 9: PROPOSED LOCATION AND RELEVANT EUROPEAN SITES, RIVERS, AND CATCHMENTS



FIGURE 10: PROPOSED LOCATION AND RELEVANT EUROPEAN SITES, RIVERS, AND CATCHMENTS

## 2.3 Assessment of Significance of Potential Impacts

All 7 European sites were screened out following this assessment. As there are no potential pathways it can be concluded that there will be no significant impact upon any QI and/or SCI species and/or habitats within any European site as a result of the Proposed Project alone. The potential for significant impacts in combination with other planning applications in the surrounding area is discussed below.

### 2.3.1 In-combination Effects

Cumulative impacts can be defined as "*impacts that result from incremental changes caused by other past, present or reasonably foreseeable actions together with the project*". Effects which are caused by the interaction of effects, or by associated or off-site projects, are classed as indirect effects. Cumulative effects are often indirect, arising from the accumulation of different effects that are individually minor. Such effects are not caused or controlled by the project developer.

Plans include all statutory and non-statutory land use, framework and sectoral plans and strategies to the extent that they have the potential to have significant effects on a European site. This incorporates 'plans and programmes' covered by the SEA Directive, and other plans and strategies, including those that are designed or intended to benefit the environment or heritage, such as Heritage and Biodiversity plans, recreation/amenity plans or strategies, and River Basin Management Plan (*Appropriate Assessment of Plans and Projects in Ireland - Guidance for Planning Authorities*. Report (2009). Prepared by Department Environment, Heritage and Local Government).

The following plans were reviewed and considered for possible in-combination effects with the Proposed Project, and it was found that there were no relevant planning applications of note in the Inis Oirr Island area.

- The National Broadband Plan,
- Clare County Development Plan 2023-2029,
- River Basin Management Plan 2022-2027,
- Flood Risk Management Plan for the Shannon Estuary North & Mal Bay River Basin (UOM27-28), published 2018.

The NBP has been considered and while detailed designs are not currently available for neighbouring DAs, based on the same criteria used in this assessment, it is deemed that the NBP as a whole will not give rise to in-combination effects with the Inis Oirr Island Radio Link Project. There are no neighbouring DAs scheduled for installation activities in parallel with the Inis Oirr Island Radio Link installation, therefore no in-combination effects from adjoining DA's are possible.

The Clare County development plan outlines specific objectives and policies for the protection of European sites.

The River Basin Management Plans are set out to protect and improve water quality, and as such will not result in negative in-combination effects with the current Project. The proposed measures for the Flood Risk Management Plan for the Shannon Estuary North & Mal Bay River Basin, including Inis Oirr Island and the mainland area, include the maintenance of arterial drainage schemes and the development and progression of flood forecasting schemes in the Inis Oirr Island

vicinity. It is not considered that these existing and proposed measures will act in combination with the Proposed Project. Thus, upon examination of the listed plans, it is concluded that there is no possibility for any in-combination effects between these plans and the Proposed Project.

Projects considered to have significant effects on a European site and require consideration for AA, include the following:

- All development that requires a planning permission process.
- All public development carried out by planning authorities.
- Exempted development either within a European site or which could potentially have a significant effect on European sites.
- All material contravention proposals.
- All other local authority authorised 'projects' – waste permits, discharge licenses; and
- recreation and amenity projects and road works.
- Forestry Operations
- Flooding and Drainage

Recent (within the last 3 years) pending and/or permitted planning permissions within c.250m of the proposed infrastructure located within a European site were reviewed, using GIS. Given the minor and temporary nature of the installation activities, a relatively small buffer of 250m was considered sufficient to assess in-combination effects with existing proposed and/or permitted developments. Withdrawn, refused, and incomplete applications were eliminated from the search. There are no relevant medium-large planning permissions for the last three years located within the 250m buffer of the Proposed Project. Therefore, all relevant planning permissions considered thus far in the report were screened out for in-combination effects with the Proposed Project due to the negligible cumulative effects

### 3 CONCLUDING STATEMENT

The Proposed Project consisting of the installation of Broadband Radio Link on Inis Oirr Island (Mainland – Cyril Nagel's Land) (DA501), has been assessed taking into account:

- The nature, size and location of the proposed installations and possible impacts arising from the installation activities.
- The qualifying interests and conservation objectives of the European sites.
- The potential for in-combination effects arising from other plans and projects.

In conclusion, upon the examination, analysis and evaluation of the relevant information and applying the precautionary principle, it is concluded by the authors of this report that, on the basis of objective information; the possibility **can be excluded** that the Proposed Project will have a likely significant effect on any of the European sites listed below:

- *Ballyteige (Clare) SAC (000994)*
- *Black Head-Poulsallagh Complex SAC (000020)*
- *Inagh River Estuary SAC (000036)*
- *Inisheer Island SAC (001275)*
- *Inishmaan Island SAC (000212)*
- *Moneen Mountain SAC (000054)*
- *Cliffs of Moher SPA (004005)*

Thus, it can be concluded on the basis of the results of Stage 1 of the AA process that there is no requirement to proceed to Stage 2 of said process; and the preparation of a NIS is not required.

## 4 REFERENCES

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## APPENDIX 1

### Appropriate Assessment

#### Legislative Background

Member States are required to designate Special Areas of Conservation (SACs) and Special Protected Areas (SPAs) under the EU Habitats and Birds Directives, respectively. SACs and SPAs are collectively known as European sites. A screening for AA determines whether a plan or project, either alone or in combination with other plans and projects, is likely to have significant effects on a European site (without the application of mitigation measures to avoid or reduce significant effects to a European site), in view of its conservation objectives.

If likely significant effects are identified or cannot be ruled out, an 'Appropriate Assessment' (AA) is required to determine whether the significant effects of the project, either alone or in combination with other plans and projects, would have an adverse effect on the integrity of the European sites, having regard to their conservation objectives and best scientific knowledge.

This Screening Report has been undertaken to determine the potential for significant effects on relevant European sites.

#### Legislative Context

The Habitats Directive (92/43/EEC) seeks to conserve natural habitats and wild fauna and flora by the designation of SACs and the Birds Directive (2009/147/EC) seeks to protect birds of special importance by the designation of SPAs. It is the responsibility of each Member State to designate SPAs and SACs, both of which will form part of Natura 2000, a network of protected sites throughout the European Community.

An AA is required under Article 6 of the Habitats Directive where a project or plan may give rise to significant effects upon a European site, paragraph 3 states that:

*"6(3) Any plan or project not directly connected with or necessary to the management of the site but likely to have a significant effect thereon, either individually or in combination with other plans or projects, shall be subject to appropriate assessment of its implications for the site, in view of the site's conservation objectives. In the light of the conclusions of the assessment of the implications for the site and subject to the provisions of paragraph 4, the competent national authorities shall agree to the plan or project only after having ascertained that it will not adversely affect the integrity of the site concerned and, if appropriate, after having obtained the opinion of the general public."*

According to the CJEU's ruling delivered 15th June 2023 regarding the interpretation of Article 6(3) of Directive 92/43, the Article must be interpreted as meaning that:

*"In order to determine whether it is necessary to carry out an appropriate assessment of the implications of a plan or project for a site, account may be taken of the features of that plan or project which involve the removal of contaminants and which therefore may have the effect of reducing the harmful effects of the plan or project on that site, where those features have been incorporated into that plan or project as standard features, inherent in such a plan or project, irrespective of any effect on the site".*

As such, standardised embedded mitigation, that are incorporated into the design of a proposal or project and which may result in a reduction of effects impacting European sites, but where the reason for the embedded mitigation is not solely to protect a European site, may be taken into account in order to determine whether it is necessary to undertake an AA.

These obligations in relation to AA have been implemented in Ireland under Part XAB of the Planning and Development Act 2000, as amended ("the 2000 Act") and the Birds and Natural Habitat Regulations 2011, as amended.

## APPENDIX 2

### Appropriate Assessment (AA) Process

The AA process is a four-stage process, with issues and tests at each stage. The outcome at each successive stage determines whether the next stage in the process is required.

The four stages of an AA are summarised as follows:

- **Stage 1: *Screening*.** The first stage of the AA process is to determine the likelihood of significant impacts of the project or plan.
- **Stage 2: *Natura Impact Statement (NIS)*.** The second stage of the AA process assesses the impact of the project or plan (either alone or in combination with other projects or plans) on the integrity of the European site, with respect to the conservation objectives of the site and its ecological structure and function. An NIS containing a professional scientific examination of the project or plan is required and includes any mitigation measures to avoid, reduce or offset negative impacts.
- **Stage 3: *Assessment of alternative solutions*.** If the outcome of Stage 2 is negative i.e., adverse impacts to the sites cannot be scientifically ruled out, despite mitigation, the plan or project should proceed to Stage 3 or be abandoned. This stage examines alternative solutions to the proposal.
- **Stage 4: *Assessment where no alternative solutions exist and where adverse impacts remain*.** The final stage is the main derogation process examining whether there are imperative reasons of overriding public interest (IROPI) for allowing a plan or project to adversely affect a European site, where no less damaging solution exists.

The Competent Authority must determine that an NIS is required where the project is not directly connected with or necessary to the management of the site as a European site and if it cannot be excluded, on the basis of objective scientific information following screening, that the plan or project, individually or in combination with other plans or projects, will have a significant effect on a European site.

### Stage 1 Guidance

The AA Screening Report is undertaken in accordance with the following guidance:

- *Appropriate Assessment of Plans and Projects in Ireland - Guidance for Planning Authorities.* (Department of Environment, Heritage and Local Government, 2010 revision).
- *Appropriate Assessment under Article 6 of the Habitats Directive: Guidance for Planning Authorities.* Circular NPW 1/10 & PSSP 2/10.
- *Assessment of Plans and Projects Significantly Affecting Natura 2000 sites: Methodological Guidance on the Provisions of Article 6(3) and (4) of the Habitats Directive 92/43/EEC* (European Commission, 2001).
- *Communication from the Commission on the precautionary principle* (European Commission, 2000).

- *Managing Natura 2000 Sites: The Provisions of Article 6 of the Habitat's Directive 92/43/EEC* (European Commission, 2019).
- *Assessment of plans and projects in relation to Natura 2000 sites - Methodological guidance on Article 6(3) and (4) of the Habitats Directive 92/43/EEC Brussels, 28.9.2021 C* (European Commission, 2021); and,
- *Appropriate Assessment Screening for Development Management, OPR Practice Note PN01, Office of the Planning Regulator March 2021.*

### **Stage 1 Steps**

Screening for AA involves the following steps:

- Establish whether the project is directly connected with or necessary for the management of a European site.
- Description of the project and the description and characterisation of other projects or plans that in combination have the potential for having significant effects on the European site.
- Identification of European sites potentially affected.
- Identification and description of potential effects on the European site(s).
- Assessment of the likely significance of the impacts identified on the European site; and
- Determination on whether it can be objectively concluded that there will be no significant effects, (without the application of mitigation measures to avoid or reduce significant effects to a European site).

## APPENDIX 3

### Identification of Relevant European sites

To identify European sites lying within the Zone of Influence (ZOI) of the Proposed Development, a Source-Path-Receptor (S-P-R) method is used, as described in 'OPR Practice Note PN01 - Appropriate Assessment Screening for Development Management' (OPR, 2021).

An arbitrary distance of 15km as the precautionary ZOI is recommended by the Department of Housing, Planning and Local Government (then DEHLG) 'Appropriate Assessment of Plans and Projects in Ireland - Guidance for Planning Authorities' (2009), for a plan or project being assessed for likely significant effects on European sites. It is stated however that this should be evaluated on a case-by-case basis. The methodology used to identify relevant European sites comprised the following:

- Use of up-to-date Geographic Information System (GIS) spatial datasets for European designated sites and water catchments – downloaded from the NPWS website ([www.npws.ie](http://www.npws.ie)) and the EPA website ([www.epa.ie](http://www.epa.ie)) to identify European sites which could potentially be affected by the Proposed Project;
- The catchment data were used to establish or discount potential hydrological connectivity between the Project and any European sites. The hydrological catchments are shown in Figure 9.
- Where relevant, the presence of a substantial marine buffer was used to discount potential marine hydrological connectivity between the Project Boundary and any European sites.
- All European sites within 15km of the Proposed Project were identified and included in the precautionary ZOI of the Proposed Project (Figure 9). In addition, the potential for connectivity with European sites at distances of greater than 15km from the Proposed Project was also considered in this initial assessment. In this case, there is no potential connectivity between the Proposed Project site and European sites located at a distance greater than 15km.
- There are no European sites within the precautionary ZOI with potential for pathways between European sites and the Proposed Development Site. Where significant effects are ruled out, a rationale is provided. Pathways considered included:
  - (i) Direct pathways (e.g., proximity (i.e., location within the European site), water bodies, air (for both air emissions and noise impacts).
  - (ii) Indirect pathways (e.g., disruption to migratory paths, 'Sightlines' where noisy or intrusive activities may result in disturbance to shy species.
- The site synopses and conservation objectives of these sites, as per the NPWS website ([www.npws.ie](http://www.npws.ie)), were consulted and reviewed at the time of preparing this report.

There is no reliance placed in this assessment upon measures intended to avoid/reduce harmful effects on the European sites.

### Identification of Infrastructure Installation within/adjacent to European sites

To assess whether installation activities were proposed adjacent to European sites, proposed installation activities within 30m or less of European sites were assessed.

To identify these items of infrastructure, the following process was undertaken:

- Using a GIS the locations of all new proposed items of infrastructure were overlaid onto the locations of all European sites in Ireland and Northern Ireland.
- Analysis was performed using GIS which identified any individual feature proposed to be installed within 30m or less of a European site.

If individual features are identified, they are recorded and presented on a drawing or series of drawings as required.

### **Assessment of Infrastructure within, adjacent to or upstream of European sites**

The following process is undertaken to assess whether the installation of individual items of new infrastructure within, adjacent to or upstream of a European site may give rise to significant effects upon a European site.

- The survey data for each proposed location is reviewed along with available aerial imagery of the location.
- If the proposed infrastructure locations lie along the public road network, Google street-view imagery of the location is reviewed, if available.
- The context of the proposed infrastructure is also considered; for example, the new infrastructure is assessed to determine if it will be filling in gaps in an existing run of poles, or if it will be an entirely new string of poles.
- The QI/SCI species and Conservation Objectives of the European site are considered when reaching a conclusion as to whether the infrastructure has the potential to give rise to a significant effect.
- NPWS GIS data (polygons) are utilised to assess locations of infrastructure relative to QI listed habitats in European sites.
- All items of infrastructure within 30 metres of relevant EPA waterbody GIS layers (e.g., river, lakes, transitional and coastal waterbodies) were assessed to determine potential hydrological linkages with European sites. A distance of 30m was chosen to account for differences in river width and potential mapping errors.
- If the location of the proposed infrastructure is validated as being correct, and the site where the installation activities are proposed cannot be adequately assessed using aerial and other available imagery, the location of the proposed infrastructure will be assessed by way of a field survey to identify potential likely significant effects on the European site.

## APPENDIX 4

### Assessment of Impacts

Once the potential impacts of a Proposed Project are identified, the significance is assessed using key indicators:

- Habitat loss or alteration.
- Habitat/species fragmentation.
- Disturbance and/or displacement of species.
- Changes in population density; and
- Changes in water quality and resource.

The terms in Appendix 4 Table 1 and

Appendix 4 Table 2 define the duration and significance of impact, respectively, as per EPA guidance (EPA, 2022).

APPENDIX 4 TABLE 1. DEFINITION OF DURATIONS (EPA, 2022).

Description of Duration	Corresponding Time Frame
<b>Momentary Effects</b>	Effects lasting from seconds to minutes.
<b>Brief Effects</b>	Effects lasting less than a day.
<b>Temporary Effects</b>	Effects lasting less than a year.
<b>Short-term Effects</b>	Effects lasting one to seven years.
<b>Medium-term Effects</b>	Effects lasting seven to fifteen years.
<b>Long-term Effects</b>	Effects lasting fifteen to sixty years.
<b>Permanent Effects</b>	Effects lasting over sixty years.
<b>Reversible Effects</b>	Effects that can be undone, for example through remediation or restoration.
<b>Frequency of Effects</b>	Describe how often the effect will occur. (Once, rarely, occasionally, frequently, constantly – or hourly, daily, weekly, monthly, annually).

APPENDIX 4 TABLE 2. DEFINITION OF EFFECTS (EPA, 2022).

Significance of Effects	Definition
<b>Imperceptible</b>	An effect capable of measurement but without significant consequences.
<b>Not significant</b>	An effect which causes noticeable changes in the character of the environment but without significant consequences.
<b>Slight Effects</b>	An effect which causes noticeable changes in the character of the environment without affecting its sensitivities.
<b>Moderate Effects</b>	An effect that alters the character of the environment in a manner that is consistent with existing and emerging baseline trends.
<b>Significant Effects</b>	An effect which, by its <b>character, magnitude, duration, or intensity</b> <u>alters a sensitive aspect of the environment.</u>





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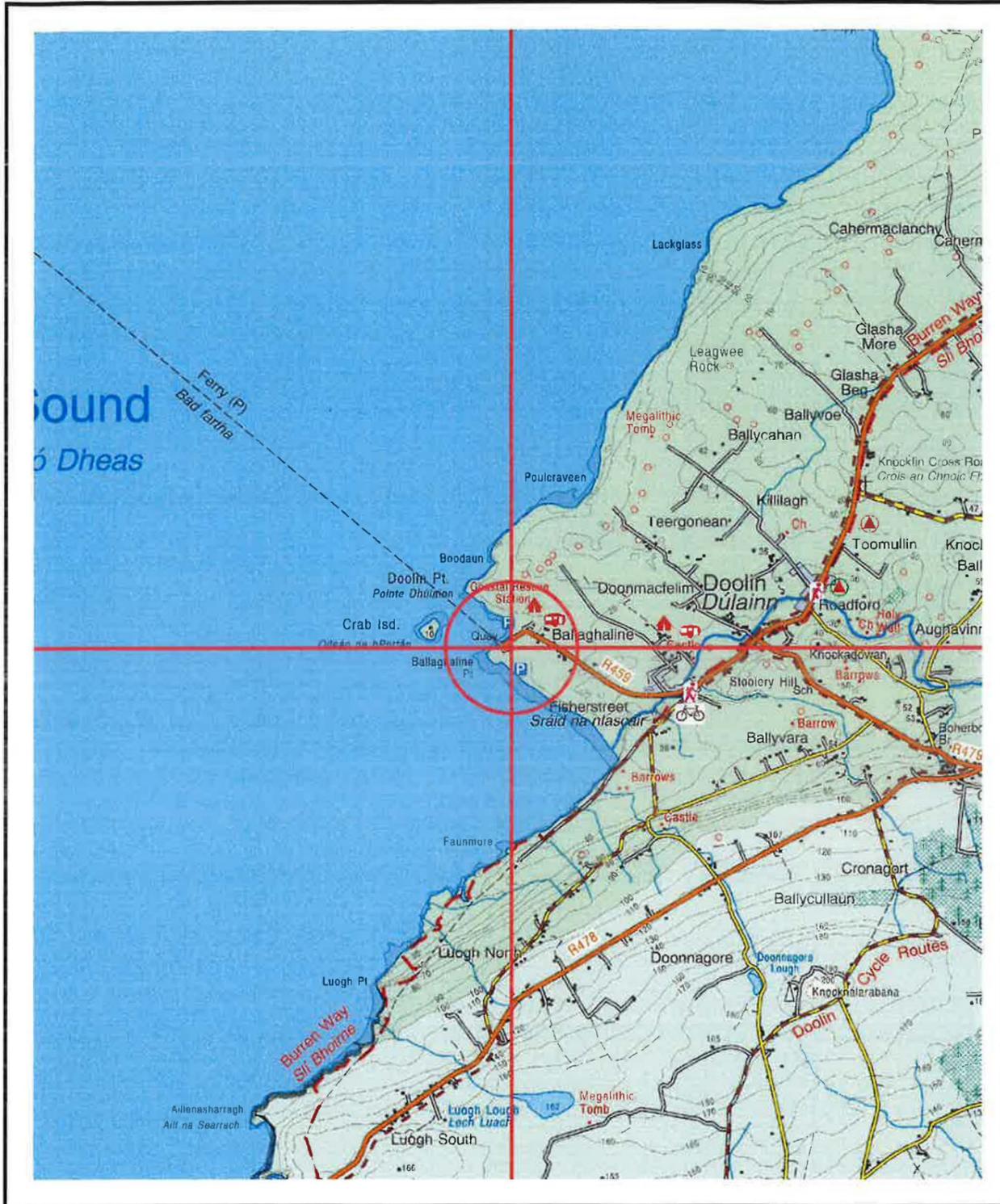
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OS LOCATION MAP  
SCALE 1:40000



Site Coordinates			
EASTING:	105.836	LATITUDE:	53.01521° N
NORTHING:	196.943	LONGITUDE:	9.40377° W
Site Entrance Coordinates			
EASTING:	105.808	LATITUDE:	53.01549° N
NORTHING:	196.975	LONGITUDE:	9.40420° W



Fig 1. Deviation



Fig 2. Proposed Location of NBI Equipment

SITE PHOTOGRAPHS

**GENERAL NOTES**

1. Do not scale.
2. All dimensions are in millimetres unless specified otherwise.
3. This drawing is to be read in conjunction with the relevant scope of works and all relevant engineers and specialist drawings.
4. All works are in accordance with the relevant and current health and safety legislation.
5. All works must be carried out in accordance with all relevant specifications and all relevant Irish, British and European standards.
6. All works to be carried out in accordance with the relevant NBI specifications.
7. Any major deviations to the original design occurring on site to be relayed back to PSPD prior to completion of works, for approval with NBI.

No.	Revision	Date	By	Chk
B	DISHES AND FENCE UPDATE	15.04.25	JTD	JH
A	UPDATED SITE LOCATION	12.03.25	JTD	JH
-	LOW LEVEL DESIGN	28.02.25	JTD	JH

**SURECOM**  
NETWORK SOLUTIONS  
TRUE TO OUR WORD

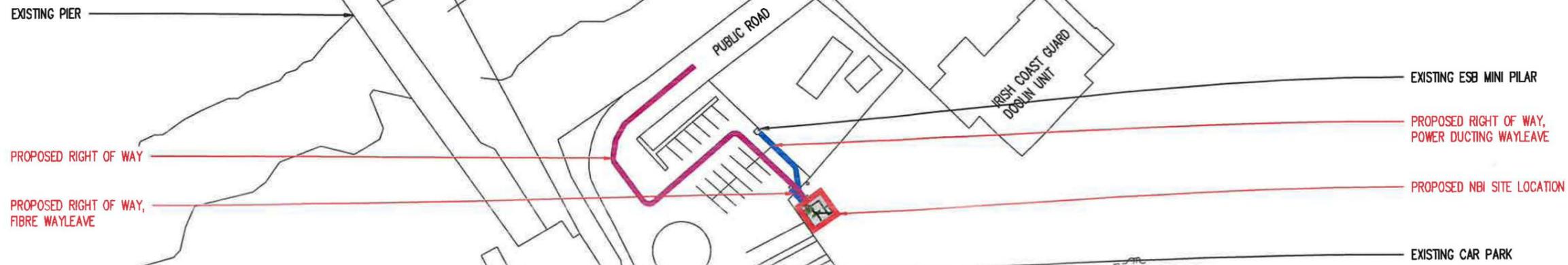


Site Name: DA501 INIS OIRR ISLAND MAINLAND B  
CYRIL NAGLE LAND, DOOLIN PIER  
BALLAGHALINE, DOOLIN  
Co. CLARE

Title: LOCATION MAP & PHOTOS

Designed	Drawn	Date	Scale
SURECOM	JTD	28.02.25	AS SHOWN
Dep. No.	001	Rev.	B

Drawing No.	Drawing Title	Drawing No.	Drawing Title
001	O.S. Location Map and Photographs	007	Proposed Earthing Schematic
002	Site Location Map Plan 1:1000	008	Proposed Foundation
003	Site Location Map Plan 1:500	009	Proposed Plinth Details
004	Proposed Site Layout	010	Proposed Monopole Details
005	Proposed Elevation		
006	Proposed Ducts Layout		



- GENERAL NOTES**
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No.	Revision	Date	By	Old
B	DISHES AND FENCE UPDATE	13.04.25	JTD	JH
A	UPDATED SITE LOCATION	12.03.25	JTD	JH
-	LOW LEVEL DESIGN	28.02.25	JTD	JH

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 National Broadband Ireland

Site Name: DA501 INIS OIRR ISLAND MAINLAND B  
 CYRIL NAGLE LAND, DOOLIN PIER  
 BALLAGHALINE, DOOLIN  
 Co. CLARE

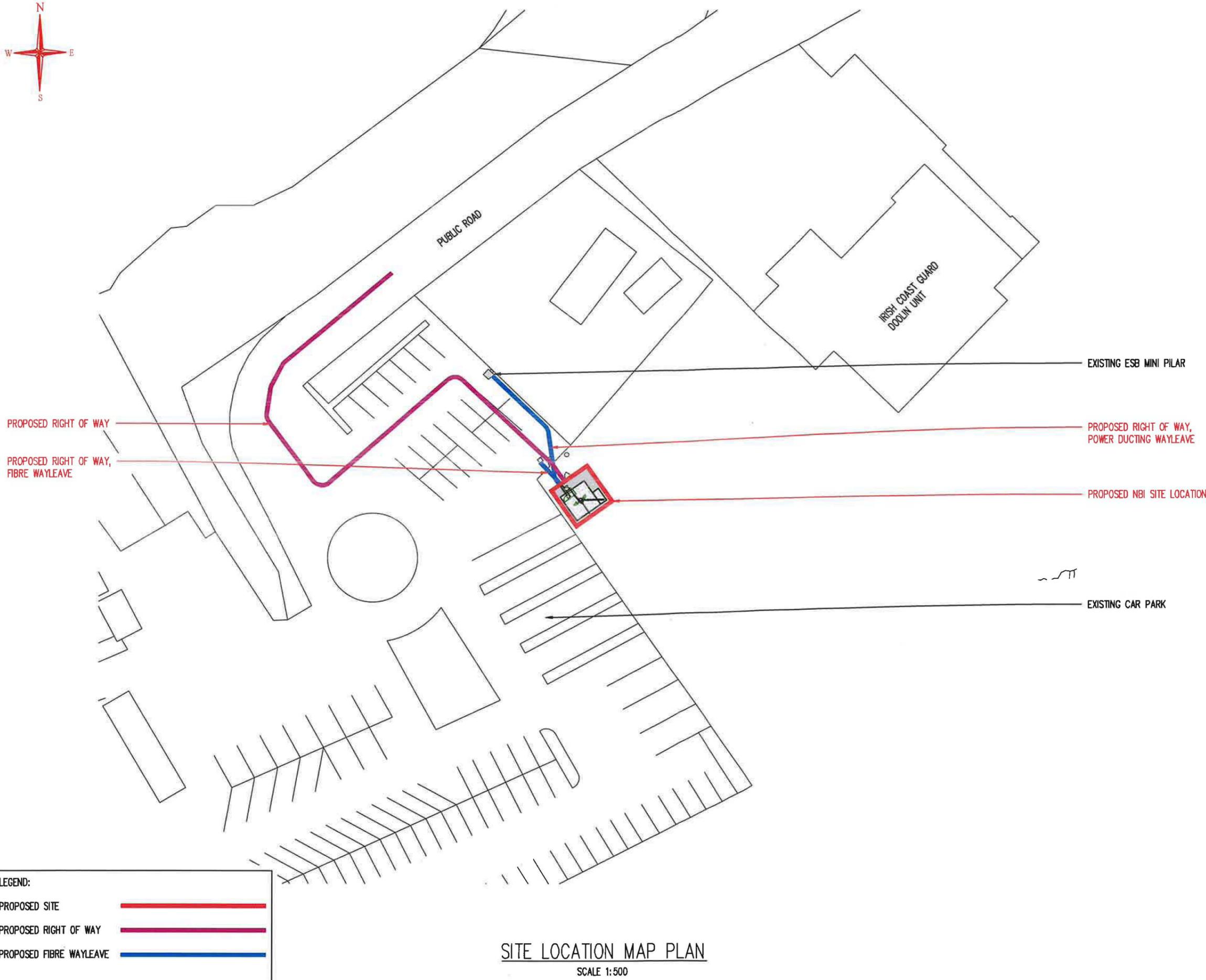
Title: SITE LOCATION MAP PLAN 1:1000

Designed: SURECOM	Drawn: JTD	Date: 28.02.25	Scale: AS SHOWN
Dep. No.: 002	Rev.: B		

**LEGEND:**

- PROPOSED SITE (Red line)
- PROPOSED RIGHT OF WAY (Pink line)
- PROPOSED FIBRE WAYLEAVE (Blue line)

**SITE LOCATION MAP PLAN**  
 SCALE 1:1000



**LEGEND:**

PROPOSED SITE	
PROPOSED RIGHT OF WAY	
PROPOSED FIBRE WAYLEAVE	

**SITE LOCATION MAP PLAN**  
SCALE 1:500

- GENERAL NOTES**
1. Do not scale.
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  5. All works must be carried out in accordance with all relevant specifications and all relevant Irish, British and European standards.
  6. All works to be carried out in accordance with the relevant NBI specifications.
  7. Any major deviations to the original design occurring on site to be relayed back to PSDP prior to completion of works, for approval with NBI.

No.	Revision	Date	By	Chk
B	DISHES AND FENCE UPDATE	15.04.25	JTD	JH
A	UPDATED SITE LOCATION	12.03.25	JTD	JH
-	LOW LEVEL DESIGN	28.02.25	JTD	JH

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**NBI**  
National Broadband Ireland

Site Name: DA501 INIS OIRR ISLAND MAINLAND B  
CYRIL NAGLE LAND, DOOLIN PIER  
BALLAGHALINE, DOOLIN  
Co. CLARE

Site: SITE LOCATION MAP PLAN 1:500

Designed: SURECOM	Drawn: JTD	Date: 28.02.25	Scale: AS SHOWN
Dwg. No.: 003	Rev.: B		



PROPOSED 1No. POWER DUCT -  
EXACT ROUTE TBC

EXISTING WOODEN POLE WITH  
LIGHT

EXISTING OPEN EIR FIBRE  
CHAMBER

PROPOSED NBID PASSIVE FIBRE

PROPOSED CHAINLINK FENCE WITH  
1m WIDE ACCESS GATE

EXISTING CHAINLINK FENCE

PROPOSED FIBRE CHAMBER

PROPOSED SINGLE BAY  
CABINET ON CONCRETE  
FOUNDATION

PROPOSED 1No. #600mm DISH

**NOTE:**  
- PROPOSED FOUNDATION AREA TO BE CHECKED FOR ANY MANHOLES VAULTS OR EXISTING INFRASTRUCTURE.  
- PROPOSED FOUNDATION AREA TO BE CAT SCANNED PRIOR TO WORK COMMENCING TO VERIFY ANY UNDERGROUND CABELING.

- GENERAL NOTES**
1. Do not scale.
  2. All dimensions are in millimetres unless specified otherwise.
  3. This drawing is to be read in conjunction with the relevant scope of works and all relevant engineers and specialist drawings.
  4. All works are in accordance with the relevant and current health and safety legislation.
  5. All works must be carried out in accordance with all relevant specifications and all relevant Irish, British and European standards.
  6. All works to be carried out in accordance with the relevant NBI specifications.
  7. Any major deviations to the original design occurring on site to be relayed back to PSDP prior to completion of works, for approval with NBI.

No.	Revision	Date	By	Clk
B	DISHES AND FENCE UPDATE	15.04.25	JTD	JH
A	UPDATED SITE LOCATION	12.03.25	JTD	JH
-	LOW LEVEL DESIGN	28.02.25	JTD	JH

**SURECOM**  
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**NBI**  
National Broadband Ireland

Site Name DA501 INIS OIRR ISLAND MAINLAND B  
CYRIL NAGLE LAND, DOOLIN PIER  
BALLAGHALINE, DOOLIN  
Co. CLARE

Title PROPOSED SITE LAYOUT

Design	Drawn	Date	Scale
SURECOM	JTD	28.02.25	AS SHOWN
Dwg. No. 004	Rev. B		

PROPOSED SITE LAYOUT  
SCALE 1:50

PROPOSED 2No. Ø600mm DISHES

PROPOSED 12m HIGH MODULAR STEEL MONOPOLE

PROPOSED SINGLE BAY CABINET ON CONCRETE FOUNDATION

EXISTING CHAINLINK FENCE

GROUND LEVEL

25mm AGL

12000mm AGL

11000mm AGL

9000mm AGL

NOTE:

- PROPOSED FOUNDATION AREA TO BE CHECKED FOR ANY MANHOLES VAULTS OR EXISTING INFRASTRUCTURE.
- PROPOSED FOUNDATION AREA TO BE CAT SCANNED PRIOR TO WORK COMMENCING TO VERIFY ANY UNDERGROUND CABELING.

GENERAL NOTES

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No.	Revision	Date	By	Chd
B	DISHES AND FENCE UPDATE	15.04.25	JTD	JH
A	UPDATED SITE LOCATION	12.03.25	JTD	JH
-	LOW LEVEL DESIGN	28.02.25	JTD	JH

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Site Name DA501 INIS OIRR ISLAND MAINLAND B  
 CYRIL NAGLE LAND, DOOLIN PIER  
 BALLAGHALINE, DOOLIN  
 Co. CLARE

Title PROPOSED ELEVATION

Designed SURECOM	Drawn JTD	Date 28.02.25	Scale AS SHOWN
Dep. No. 005			Rev. B

PROPOSED ELEVATION (SOUTH WEST)

SCALE 1:50

4000



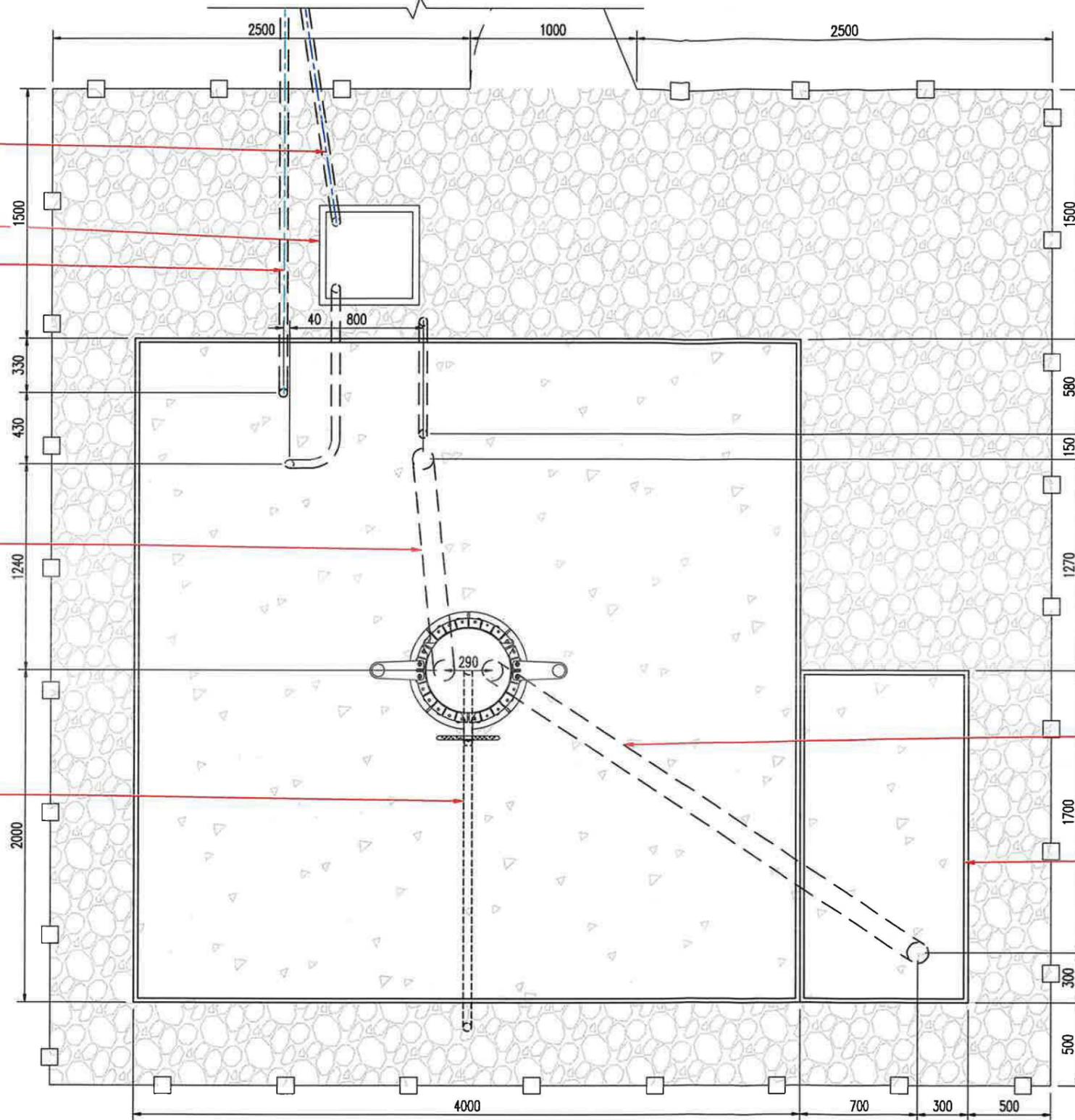
PROPOSED NBID FIBRE DUCTING

PROPOSED FIBRE CHAMBER

PROPOSED #50mm POWER DUCT BETWEEN PROPOSED CABINET AND ESB SOURCE LOCATION

PROPOSED #110mm DUCT BETWEEN PROPOSED CABINET AND PROPOSED MONOPOLE

PROPOSED #50mm EARTHING DUCT



**PROPOSED DUCTS LAYOUT**

SCALE 1:30

**GENERAL NOTES**

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B	DISHES AND FENCE UPDATE	15.04.25	JTD	JH
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**SURECOM**  
NETWORK SOLUTIONS  
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Site Name DA501 INIS OIRR ISLAND MAINLAND B  
CYRIL NAGLE LAND, DOOLIN PIER  
BALLAGHALINE, DOOLIN  
Co. CLARE

Title PROPOSED DUCTS LAYOUT

Design	Drawn	Date	Scale
SURECOM	JTD	28.02.25	AS SHOWN

Orig. No. 006 Rev. B

**GENERAL NOTES**

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No.	Revision	Date	By	Chd
B	DISHES AND FENCE UPDATE	15.04.25	JTD	JH
A	UPDATED SITE LOCATION	12.03.25	JTD	JH
-	LOW LEVEL DESIGN	28.02.25	JTD	JH

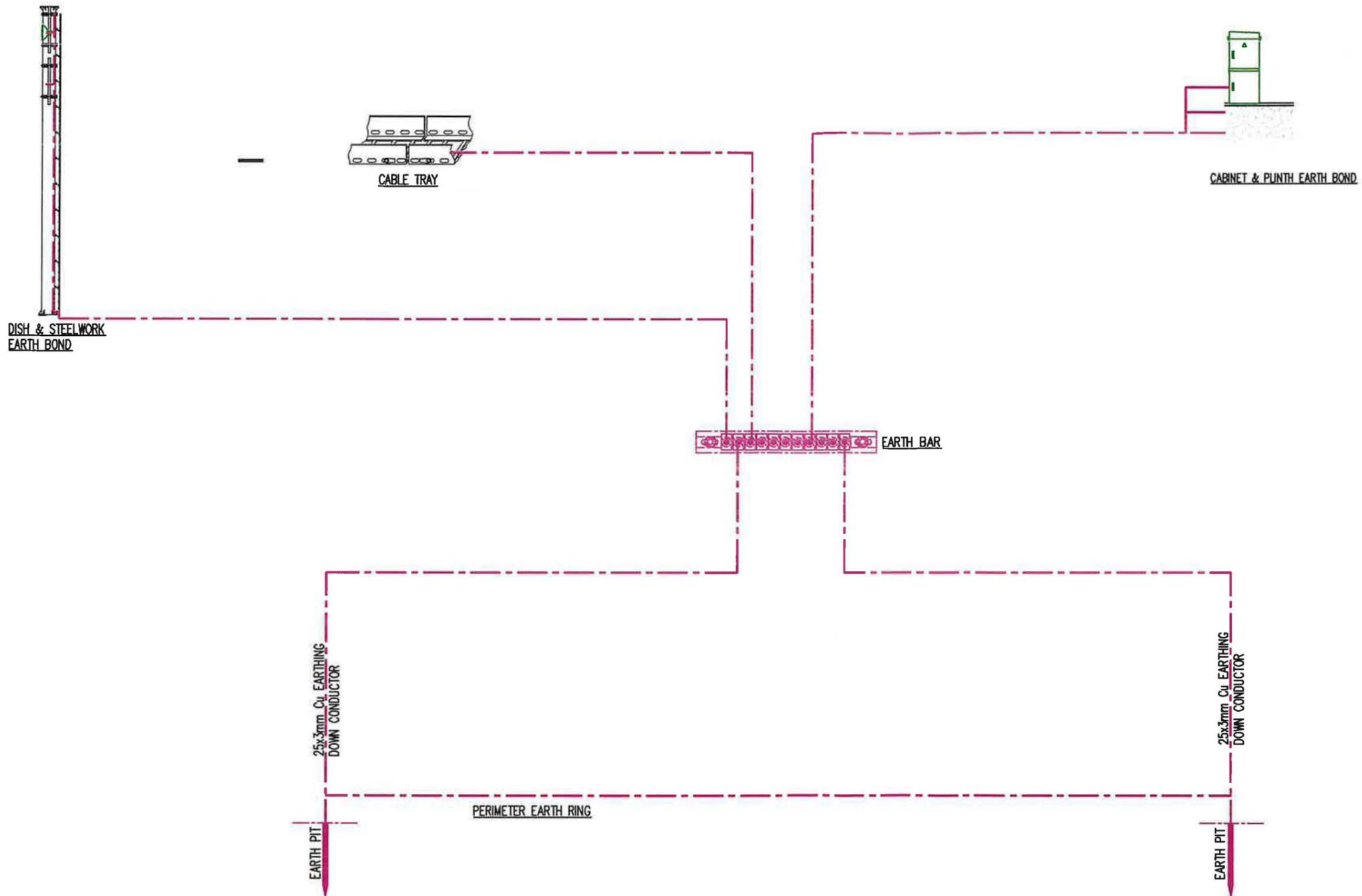
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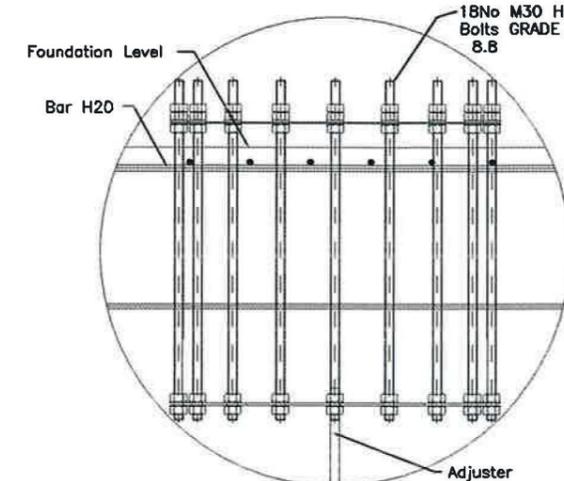
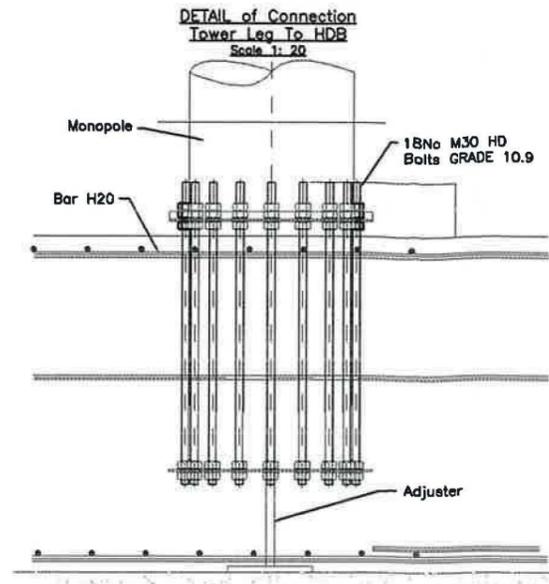
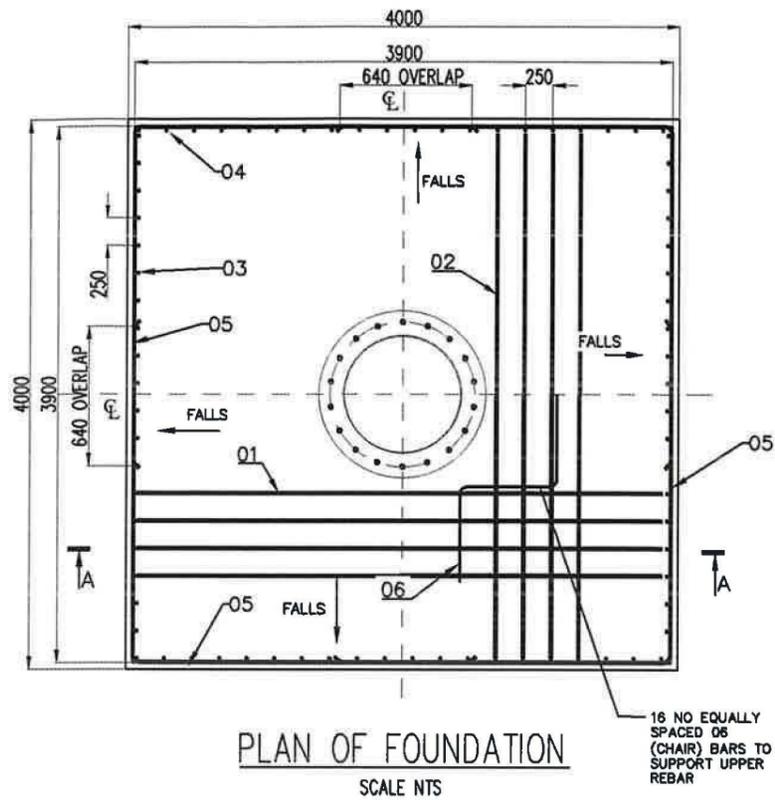
Site Name: DA501 INIS OIRR ISLAND MAINLAND B  
 CYRIL NAGLE LAND, DOOLIN PIER  
 BALLAGHALINE, DOOLIN  
 Co. CLARE

Title: PROPOSED EARTHING SCHEMATIC

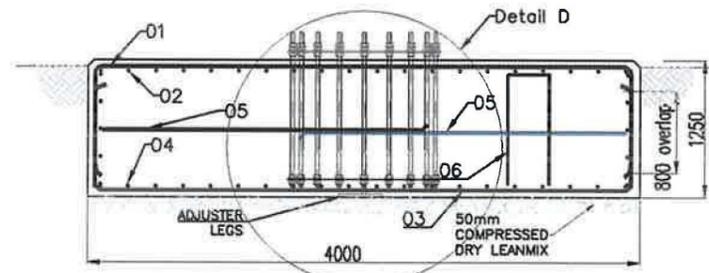
Designed: SURECOM	Drawn: JTD	Date: 28.02.25	Scale: AS SHOWN
Dep. No.: 007			Rev.: B



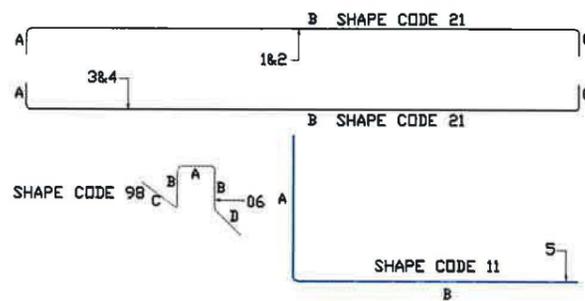
**PROPOSED EARTHING SCHEMATIC**  
 NTS



DETAIL of Connection  
Tower Leg To HDB  
SCALE NTS



SECTION A-A THROUGH FOUNDATION  
BASE  
SCALE NTS



Bar Mark	Diam (mm)	No of Bars	Length (mm)	A (mm)	B (mm)	C (mm)	D (mm)	Shape Code	Total Length (m)	Weight (kg)	Layer Mark	Bar Location	
MR01	20	16	5730	975	3860	975		21	91.7	226.5	T1	Top Upper T20-250	
MR02	20	16	5730	975	3860	975		21	91.7	226.5	T2	Lower T20-250	
MR03	20	16	5730	975	3860	975		21	91.7	226.5	B2	Bottom Upper T20-250	
MR04	20	16	5730	975	3860	975		21	91.7	226.5	B1	Lower T20-250	
MR05	20	20	4760	2400	2400			11	95.2	235.2	C	T20-250	
MR06	16	12	3942	650	1060	650	650	98	47.3	74.8	Chair	T16-650	
									<b>Total</b>	<b>509.2 m</b>	<b>1216.1 kg</b>		
									<b>Concrete volume</b>	<b>20 m3</b>			

Reinforcement Schedule for a concrete base:

4000 mm Wide	
4000 mm Long	
1250 mm Deep	
Cover	50 mm
Main Reinforcement Diameter	20 mm
Corner Bars Diameter	20 mm
Spacing of Main Bars	250 mm
Spacing of Corner Bars	250 mm
Lap between top and bottom	800 mm
Lap for corner bars	800 mm
Steel Density	7865 kg/m3

PROPOSED FOUNDATION DETAILS  
NTS

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No.	Revision	Date	By	Clad
B	DISHES AND FENCE UPDATE	15.04.25	JTD	JH
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-	LOW LEVEL DESIGN	28.02.25	JTD	JH

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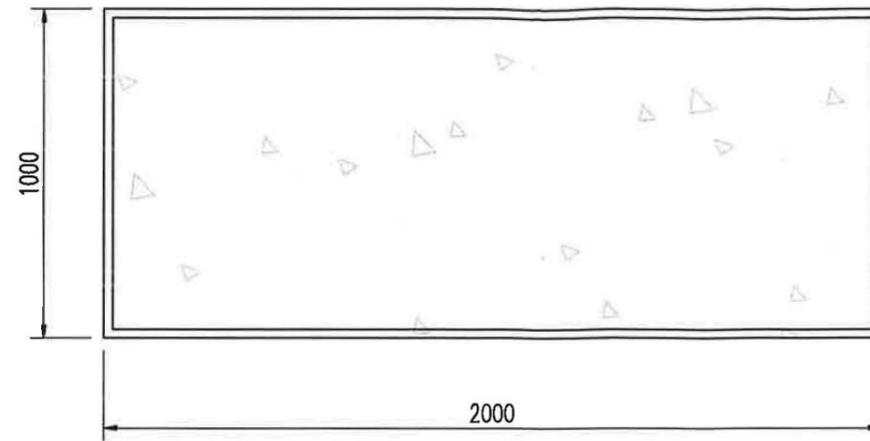
Site Name: DA501 INIS OIRR ISLAND MAINLAND B  
CYRIL NAGLE LAND, DOOLIN PIER  
BALLAGHALINE, DOOLIN  
Co. CLARE

Title: PROPOSED FOUNDATION

Designed: SURECOM	Drawn: JTD	Date: 28.02.25	Scale: AS SHOWN
Drawn No.: 008	Rev.: B		

**GENERAL NOTES**

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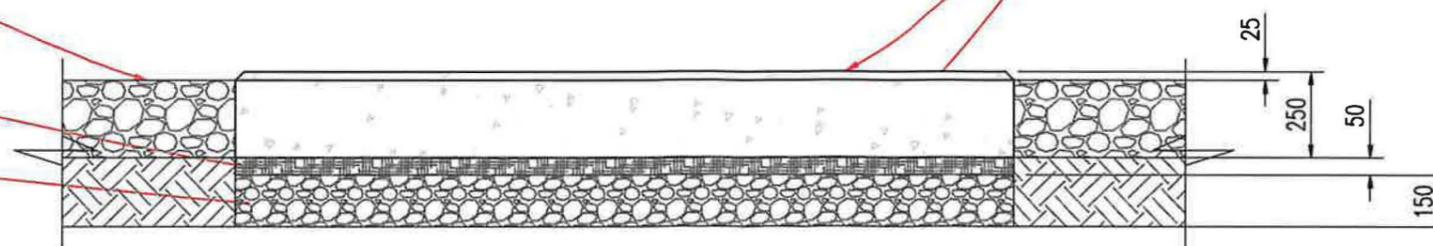
PLAN VIEW

250mm THICK C30 CONCRETE CABINET BASE  
REINFORCE WITH TWO LAYER OF A142 MESH. CONCRETE  
COVER FROM BOTTOM & EDGE OF CONCRETE BASE

PROPOSED 500mm STONE BLINDING AROUND THE  
BASE FOR AESTHETICS AND STANDING AREA

50mm BLINDING (COMPACTED)

150mm HARDCORE (COMPACTED)



ELEVATION

250mm THICK C30 CONCRETE CABINET BASE  
REINFORCE WITH TWO LAYER OF A142 MESH. CONCRETE  
COVER FROM BOTTOM & EDGE OF CONCRETE BASE. TO  
STEEL TO BE 50mm MIN. REINFORCING STEEL MESH TO  
BE CONNECTED TO L.P. SYSTEM

PROPOSED FUTURE OPERATOR CABINET FOUNDATION

SCALE 1:20

No.	Revision	Date	By	Chd
B	DISKS AND FENCE UPDATE	15.04.25	JTD	JH
A	UPDATED SITE LOCATION	12.03.25	JTD	JH
-	LOW LEVEL DESIGN	28.02.25	JTD	JH

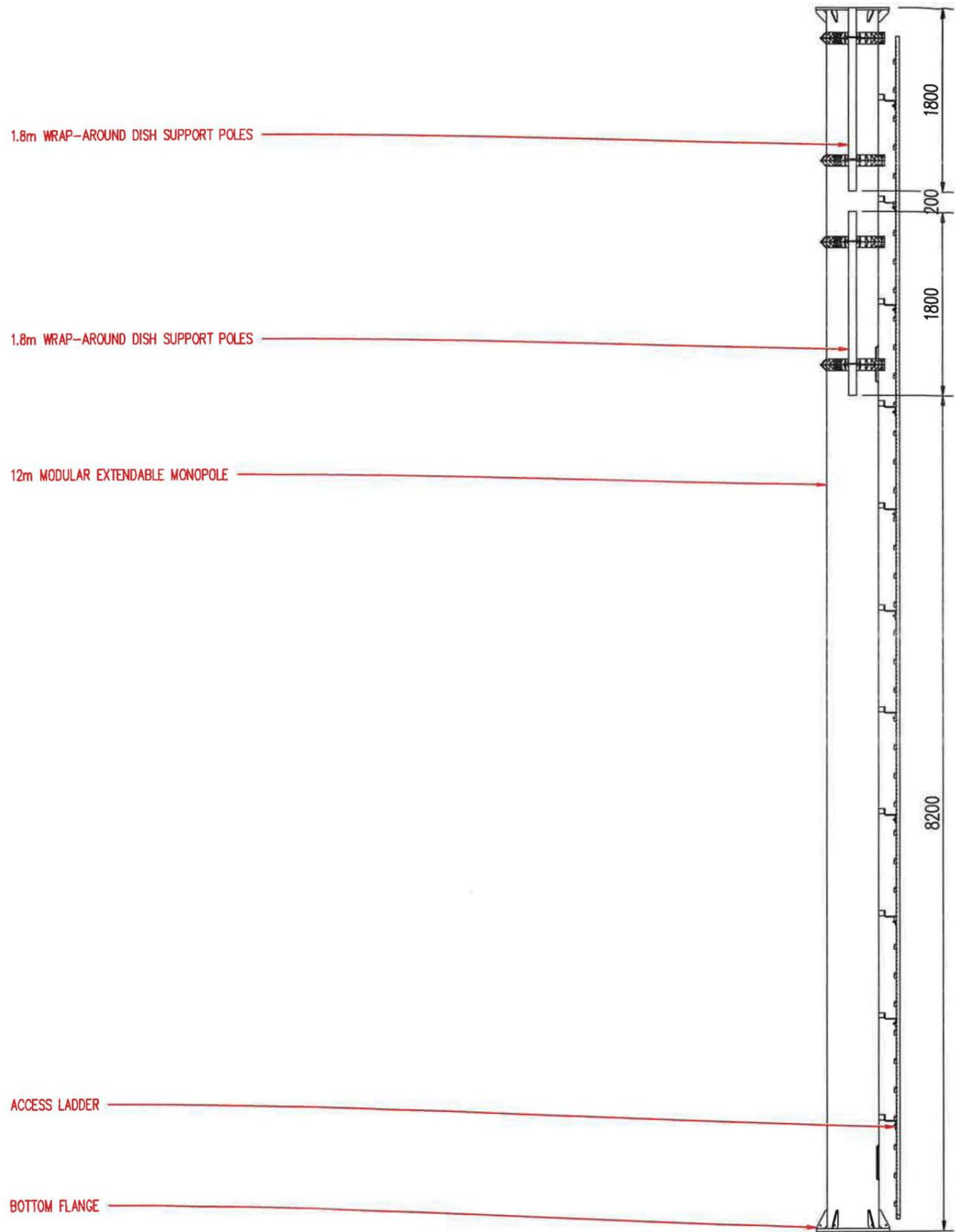
**SURECOM**  
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**NBI**  
National  
Broadband  
Ireland

Site Name DA501 INIS OIRR ISLAND MAINLAND B  
CYRIL NAGLE LAND, DOOLIN PIER  
BALLAGHALINE, DOOLIN  
Co. CLARE

Title PROPOSED PLINTH

Designed SURECOM	Drawn JTD	Date 28.02.25	Scale AS SHOWN
Orig. No. 009			Rev. B



MONOPOLE DETAILS  
SCALE 1:50

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-	LOW LEVEL DESIGN	28.02.25	JTD	JH

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**NBI**  
National  
Broadband  
Ireland

Site Name DA501 INIS OIRR ISLAND MAINLAND B  
CYRIL NAGLE LAND, DOOLIN PIER  
BALLAGHALINE, DOOLIN  
Co. CLARE

Title PROPOSED MONOPOLE

Designed SURECOM	Drawn JTD	Date 28.02.25	Scale AS SHOWN
Dwg. No. 010			Rev. B

# Telecommunications Development Photomontage Report

Report Date: 17-04-2025.

Project: DA501 Inis Oirr Mainland Location B

Surveyed by: Niamh Mc Fadden

Created by: Ananthulal Sarangadharan

Approved by: Kieran Tarpey

Client:



 Obelisk.

The logo for Obelisk consists of a circular icon on the left, made of small, dark blue dashes arranged in a ring. To the right of this icon, the word 'Obelisk.' is written in a large, dark blue, sans-serif font.

Provided by:

  
planning. environmental. technical.

The logo for entrust features the word 'entrust' in a bold, dark green, sans-serif font. The letter 'e' is a lighter shade of green. Below the word, the tagline 'planning. environmental. technical.' is written in a smaller, dark green, sans-serif font, with each word separated by a period.

505200

505800

506400



Site ID: DA501  
Inis Oirr Mainland Location B

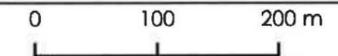
**Viewpoints Map**

**Legend**

-  Site Location
-  Viewpoints

Basemap: OpenStreetMap  
Projection: EPSG:2157 IRENET95 / Irish Transverse Mercator

Disclaimer: Information on this map is reproduced from digital and other material from different sources. Minor discrepancies may therefore occur. This plan should be used for identification purpose only, unless specifically stated above or in accompanying documentation. Entrust takes no responsibility for the accuracy of data provided by third parties.



Scale @ A3: 1:5,000

Date: 11-04-2025

Revision: V 1.0

Created by: Cian Boran

Verified by: Nabil Iboerrida

Approved by: Kieran Tarpey

**Contact Details: Entrust Ltd**



Unit 1, First floor, Oranmore Business Park,  
Oranmore, Co. Galway,  
H91 P7X8  
Email: info@entrust-services.com  
Website: www.entrust-services.com

697200

696600





View Point Name		Existing View of Viewpoint 1				
Site ID	Viewpoint No.	Easting	Northing	Elevation (AOD)m	Direction-Degrees(N)	Distance (m)
DA501	VP1	505885	697123	4.1	-152.9	157m
Viewing Distance: 300mm			Height above ground: 1.5m			
Page size: A3			Camera & Lens: Canon 6D - 50mm Focal Length			

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 Business Park, Co. Galway,  
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**Surveyed by:** Niamh Mc Fadden  
**Created by:** Ananthulal S  
**Approved by:** Kieran Tarpey

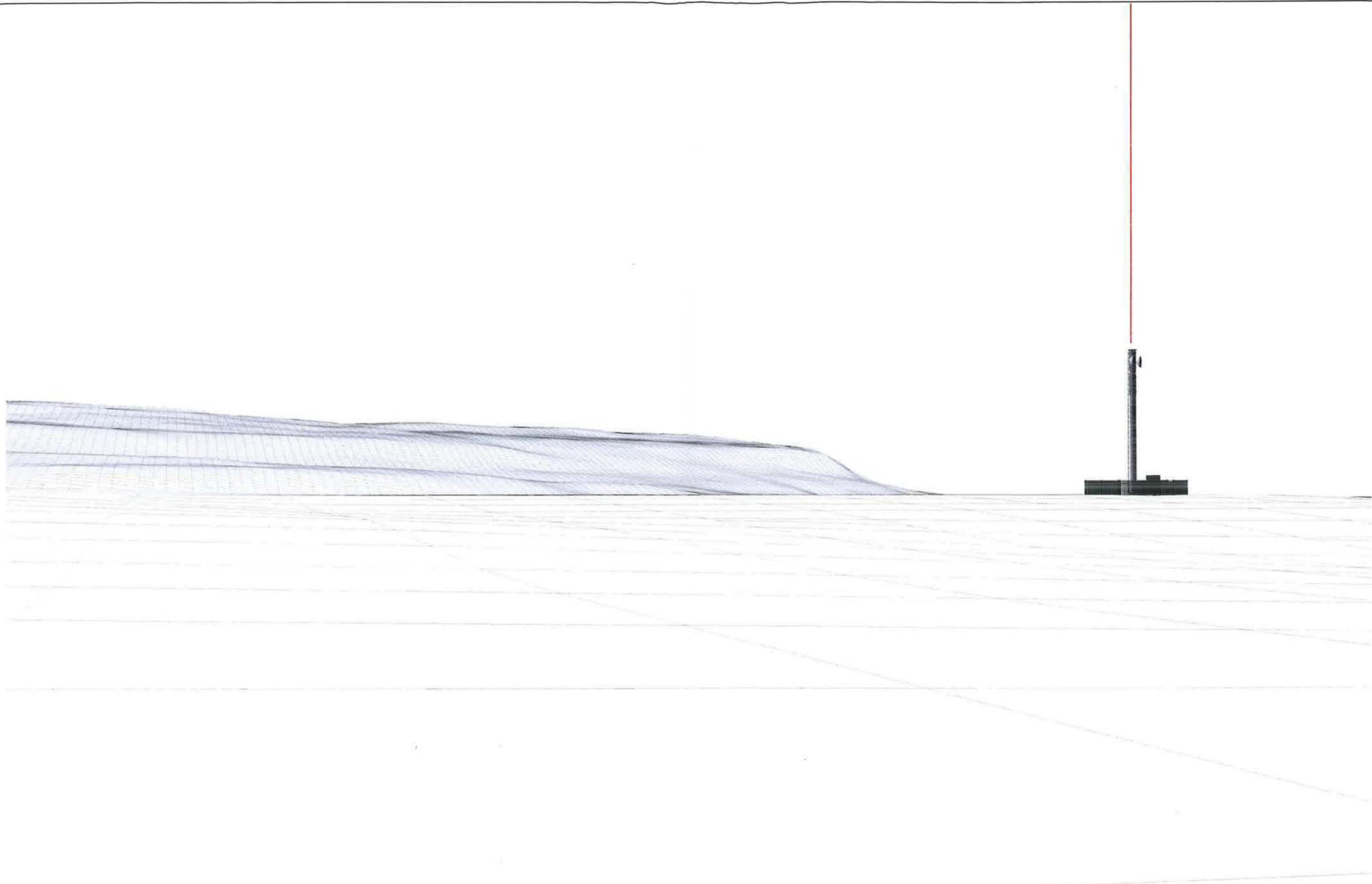


View Point Name		Proposed View of Viewpoint 1				
Site ID	Viewpoint No.	Easting	Northing	Elevation (AOD)m	Direction-Degrees(N)	Distance (m)
DA501	VP1	505885	697123	4.1	-152.9	157m
Viewing Distance: 300mm			Height above ground: 1.5m			
Page size: A3			Camera & Lens: Canon 6D - 50mm Focal Length			

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 H91 P7X8

**Surveyed by:** Niamh Mc Fadden  
**Created by:** Ananthulal S  
**Approved by:** Kieran Tarpey



View Point Name		Wireframe View of Viewpoint 1				
Site ID	Viewpoint No.	Easting	Northing	Elevation (AOD)m	Direction-Degrees(N)	Distance (m)
DA501	VP1	505885	697123	4.1	-152.9	157m
Viewing Distance: 300mm			Height above ground: 1.5m			
Page size: A3			Camera & Lens: Canon 6D - 50mm Focal Length			



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 H91 P7X8

**Surveyed by:** Niamh Mc Fadden  
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**Approved by:** Kieran Tarpey



View Point Name		Existing View of Viewpoint 2				
Site ID	Viewpoint No.	Easting	Northing	Elevation (AOD)m	Direction-Degrees(N)	Distance (m)
DA501	VP2	505672	696946	2.2	74.1	147m
Viewing Distance: 300mm			Height above ground: 1.5m			
Page size: A3			Camera & Lens: Canon 6D - 50mm Focal Length			

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**Surveyed by:** Niamh Mc Fadden  
**Created by:** Ananthulal S  
**Approved by:** Kieran Tarpey

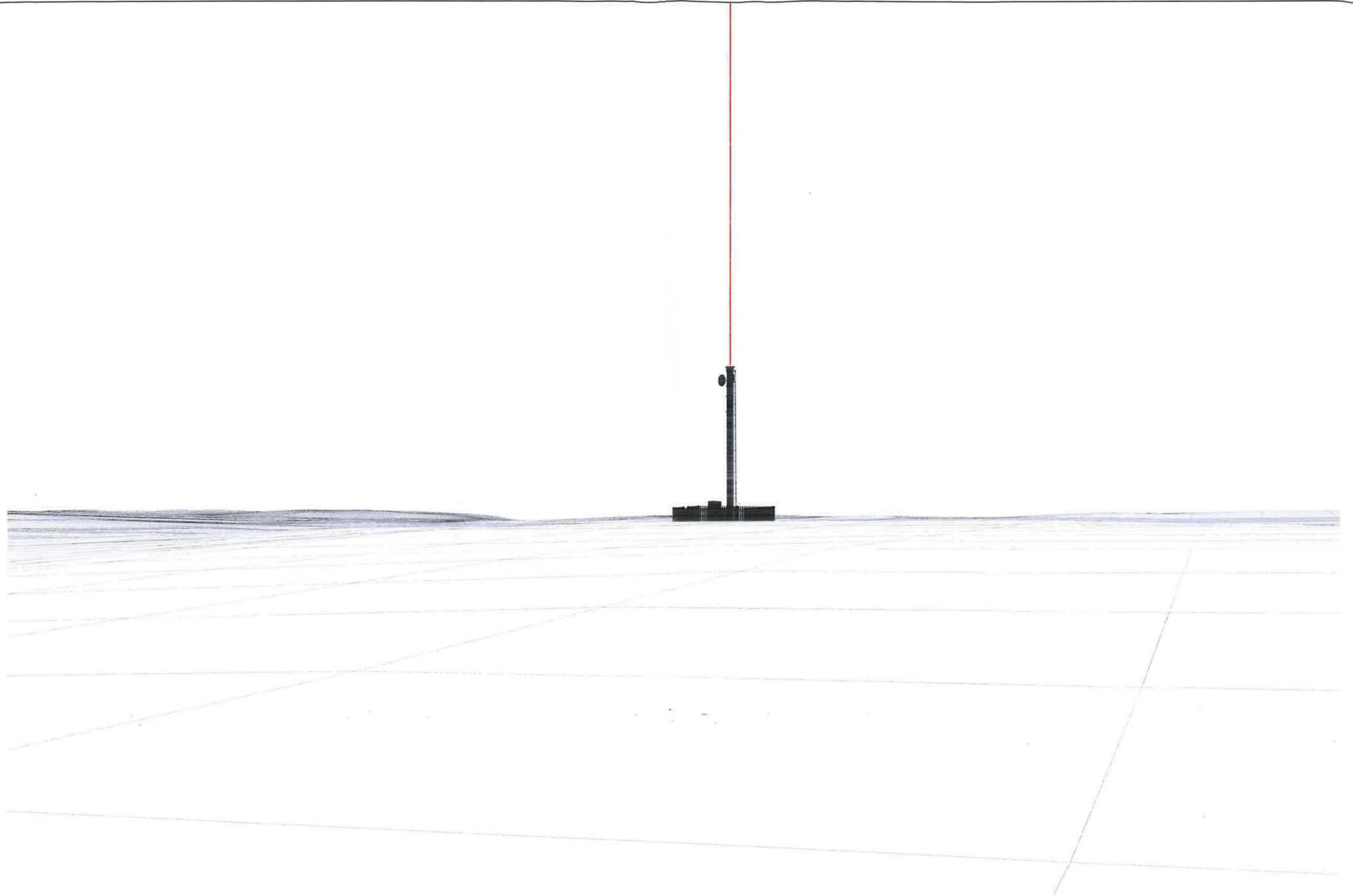


View Point Name		Proposed View of Viewpoint 2				
Site ID	Viewpoint No.	Easting	Northing	Elevation (AOD)m	Direction-Degrees(N)	Distance (m)
DA501	VP2	505672	696946	2.2	74.1	147m
Viewing Distance: 300mm			Height above ground: 1.5m			
Page size: A3			Camera & Lens: Canon 6D - 50mm Focal Length			

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**Surveyed by:** Niamh Mc Fadden  
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Site ID	Viewpoint No.	Easting	Northing	Elevation (AOD)m	Direction-Degrees(N)	Distance (m)
DA501	VP2	505672	696946	2.2	74.1	147m
Viewing Distance: 300mm			Height above ground: 1.5m			
Page size: A3			Camera & Lens: Canon 6D - 50mm Focal Length			

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**Surveyed by:** Niamh Mc Fadden  
**Created by:** Ananthulal S  
**Approved by:** Kieran Tarpey



View Point Name		<b>Existing View of Viewpoint 3</b>					Provided by:	Surveyed by:
Site ID	Viewpoint No.	Easting	Northing	Elevation (AOD)m	Direction-Degrees(N)	Distance (m)	<a href="http://www.entrust-services.com">www.entrust-services.com</a>	Niamh Mc Fadden
DA501	VP3	506020	697024	8.5	-102.6	215	Unit 1, First Floor, Oranmore Business Park, Co. Galway, H91 P7X8	<b>Created by:</b> Ananthulal S
Viewing Distance: 300mm		Height above ground: 1.5m					 planning. environmental. technical.	<b>Approved by:</b> Kieran Tarpey
Page size: A3		Camera & Lens: Canon 6D - 50mm Focal Length						



View Point Name		Proposed View of Viewpoint 3				
Site ID	Viewpoint No.	Easting	Northing	Elevation (AOD)m	Direction-Degrees(N)	Distance (m)
DA501	VP3	506020	697024	8.5	-102.6	215
Viewing Distance: 300mm			Height above ground: 1.5m			
Page size: A3			Camera & Lens: Canon 6D - 50mm Focal Length			

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**Surveyed by:** Niamh Mc Fadden  
**Created by:** Ananthulal S  
**Approved by:** Kieran Tarpey



View Point Name		<b>Wireframe View of Viewpoint 3</b>					 planning. environmental. technical.	Provided by:	<b>Surveyed by:</b> Niamh Mc Fadden <b>Created by:</b> Ananthulal S <b>Approved by:</b> Kieran Tarpey
Site ID	Viewpoint No.	Easting	Northing	Elevation (AOD)m	Direction-Degrees(N)	Distance (m)		<a href="http://www.entrust-services.com">www.entrust-services.com</a>	
DA501	VP3	506020	697024	8.5	-102.6	215		Unit 1, First Floor, Oranmore Business Park, Co. Galway, H91 P7X8	
Viewing Distance: 300mm			Height above ground: 1.5m						
Page size: A3			Camera & Lens: Canon 6D - 50mm Focal Length						